

PROJECT DATA

CLIENT: COSTCO WHOLESALE
999 LAKE DRIVE
ISSAQUAH, WA 98027

PROJECT ADDRESS: 103 N. BEACH BOULEVARD
LA HABRA, CA 90631

ZONING: C-2 GENERAL COMMERCIAL

SITE AREA: 14.49 ACRES (631,184 S.F.)

AREA OF 20' LANDSCAPE BUFFER: .66 ACRES (28,919 S.F.)

JURISDICTION: CITY OF LA HABRA

SETBACKS: BEACH BLVD. 20' LANDSCAPE
LA HABRA: 20' LANDSCAPE

BOUNDARIES INFORMATION: THIS PLAN HAS BEEN PREPARED BY USING PROPERTY LINE SURVEY PROVIDE BY FUSCOE ENGINEERING ON 3/5/2002.

EXIST. BUILDING DATA:

EXIST. BUILDING AREA	143,463 S.F.
EXIST. TIRE CENTER	5,200 S.F.
EXIST. FOOD SERVICE	1,124 S.F.
TOTAL WAREHOUSE AREA:	149,787 S.F.

PARKING DATA:

EXISTING PARKING:	
⑩ 10' WIDE STALLS	499 STALLS
⑨ 9' WIDE STALLS	211 STALLS
♿ HANDICAP STALLS	15 (3 VAN) STALLS
TOTAL PARKING	4.84 STALLS/ 1000 725 STALLS

PARKING PROVIDED:	
⑩ 10' WIDE STALLS	491 STALLS
⑨ 9' WIDE STALLS	198 STALLS
♿ HANDICAP STALLS	15 STALLS
TOTAL PARKING	4.70 STALLS/ 1000 704 STALLS

PARKING REQUIRED: 149,787 S.F. X 4/ 1000 = 599 STALLS

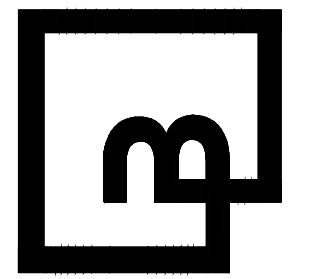
NOTES:
EXISTING CONDITIONS TO BE FIELD VERIFIED.

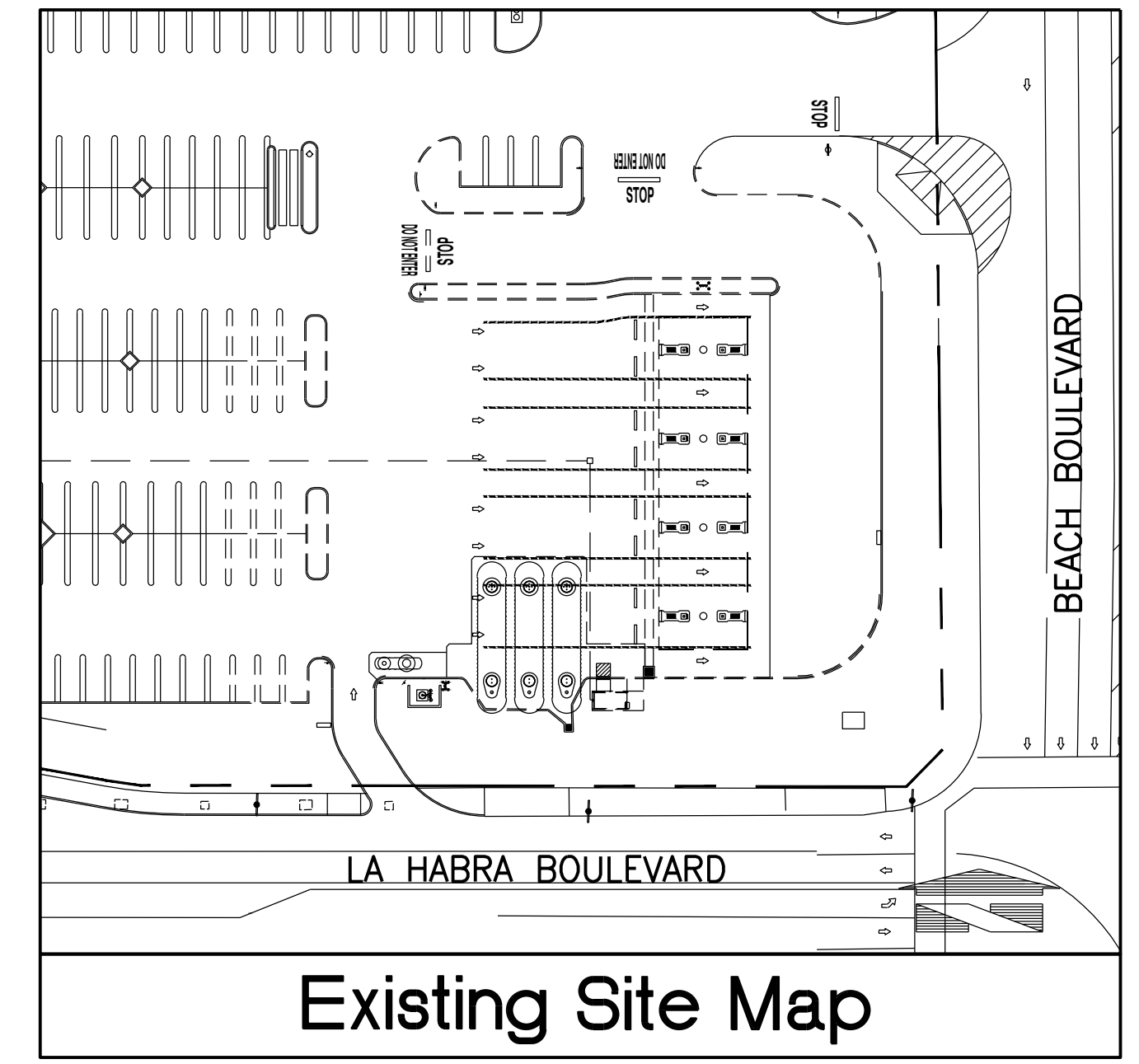
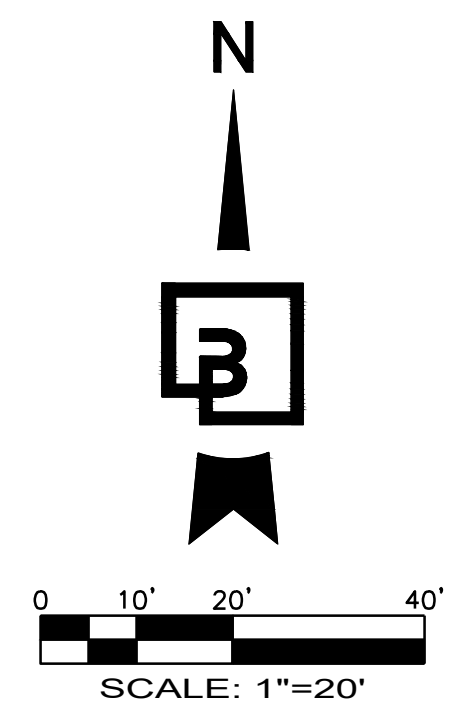
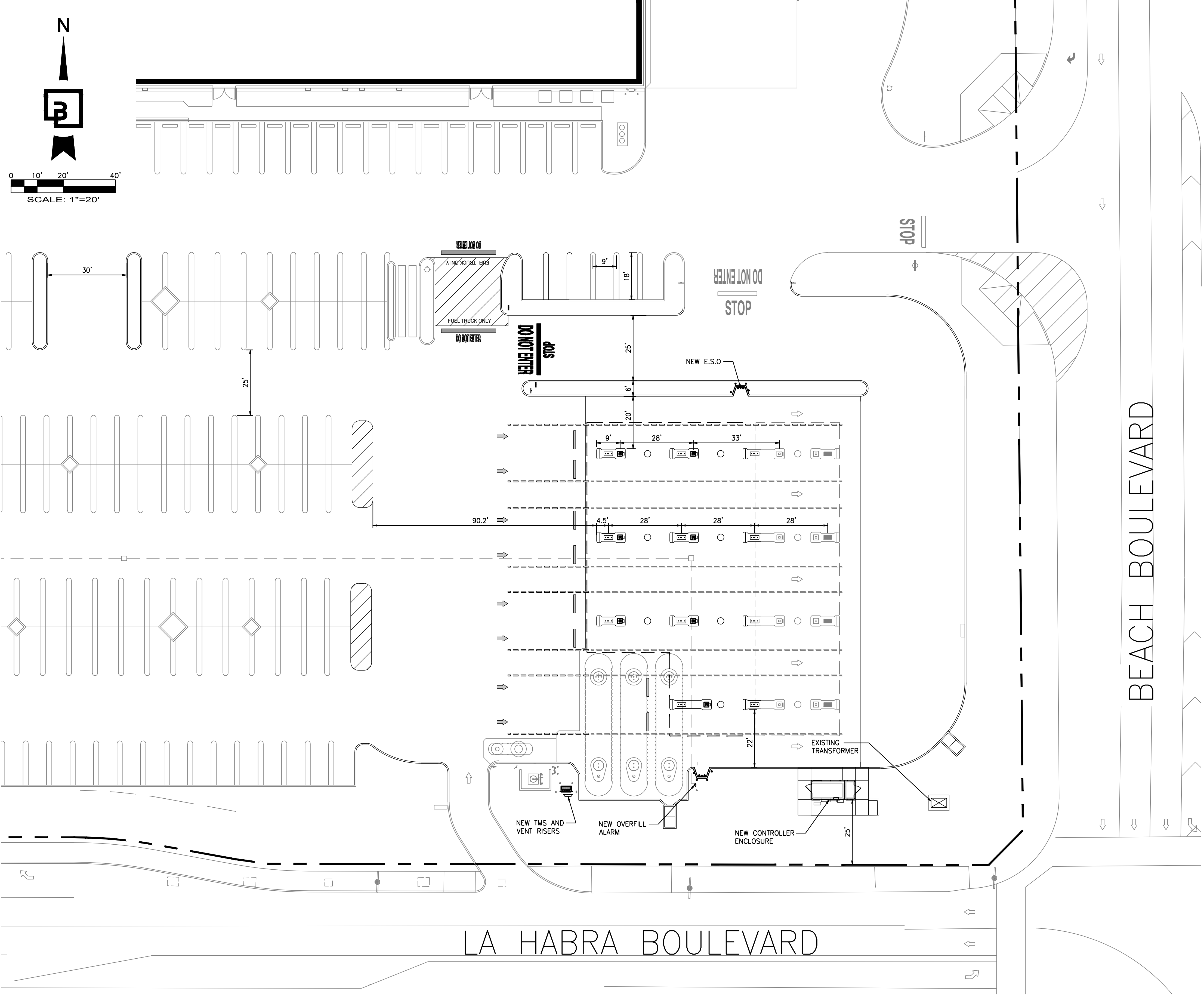
NOTES

1. THIS PRELIMINARY SITE PLAN IS BASED ON PROPERTY LINE SURVEYS BY FUSCOE ENGINEERING, INC. DATED, 4/20/2018 & 4/23/2021.
2. THE BUILDING SQUARE FOOTAGE AND PARKING SHOWN ON THIS PLAN IS BASED ON INFORMATION PROVIDED BY THE OWNER AND/OR OTHERS AND HAS NOT BEEN VERIFIED.

Job Number 10426	Sheet DD-1	Scale: Horizontal Vertical	Designed Drawn Checked Approved Date 5/25/23	Revision	<p>For: COSTCO GASOLINE COSTCO GASOLINE GAS STATION ADDITION 999 LAKE DRIVE ISSAQUAH, WA 98027</p> <p>Title: OVERALL SITE PLAN 103 N. BEACH BLVD. LA HABRA, CA 90631 LOCATION #777</p>
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Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com





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999 LAKE DRIVE
ISSAQUAH, WA 98027

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LA HABRA, CA 90631

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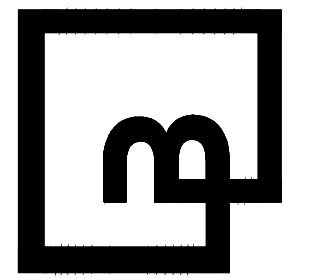
No.	Date	By	Chd.	Appr.	Revision

Title:
DETAILED SITE PLAN
103 N. BEACH BLVD.
LA HABRA, CA 90631
LOCATION #777

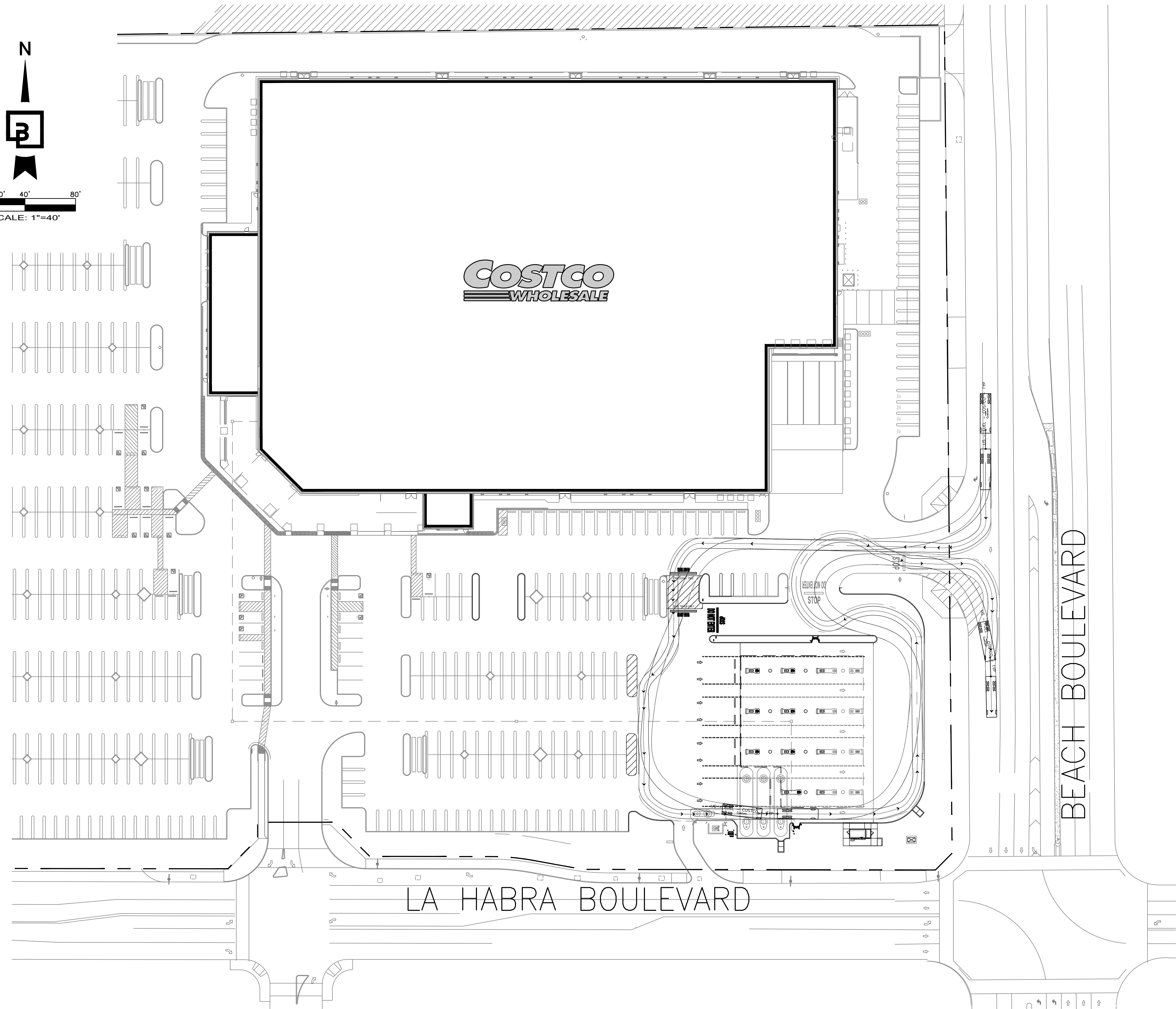
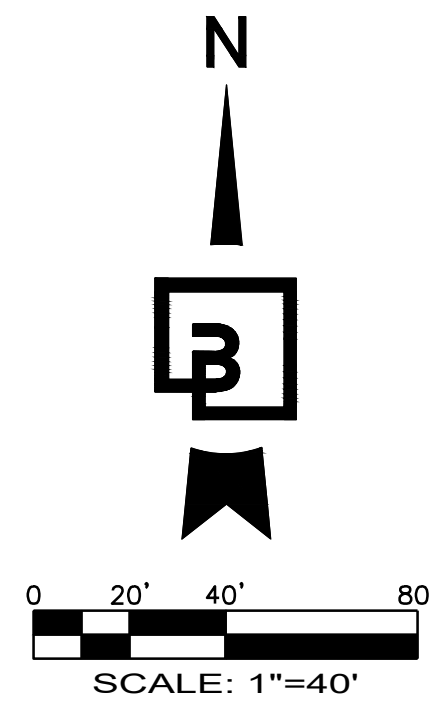
For: **Costco GASOLINE**
COSTCO GASOLINE GAS STATION ADDITION
999 LAKE DRIVE
ISSAQUAH, WA 98027

Designed	Scale:	Horizontal	Vertical
Drawn			
Checked			
Approved			
Date	5/25/23		

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425.251.6222 barghausen.com

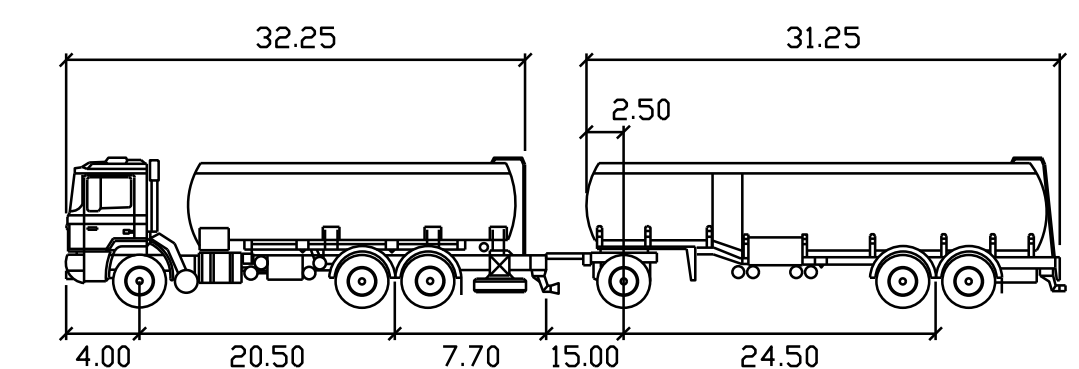


Job Number
10426
Sheet
DD-2



NOTES

1. THIS PRELIMINARY SITE PLAN IS BASED ON PROPERTY LINE SURVEYS BY FUSCOE ENGINEERING, INC. DATED, 4/20/2018 & 4/23/2021.
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US - FUEL - COSTCO - TYP

First Unit Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 40.0
First Unit Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.50		

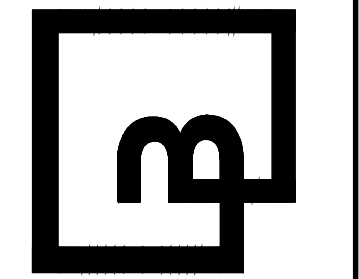
No.	Date	By	Chd.	Appr.	Revision

Title:
 TANKER TURNING PLAN
 103 N. BEACH BLVD.
 LA HABRA, CA 90631
 LOCATION #777

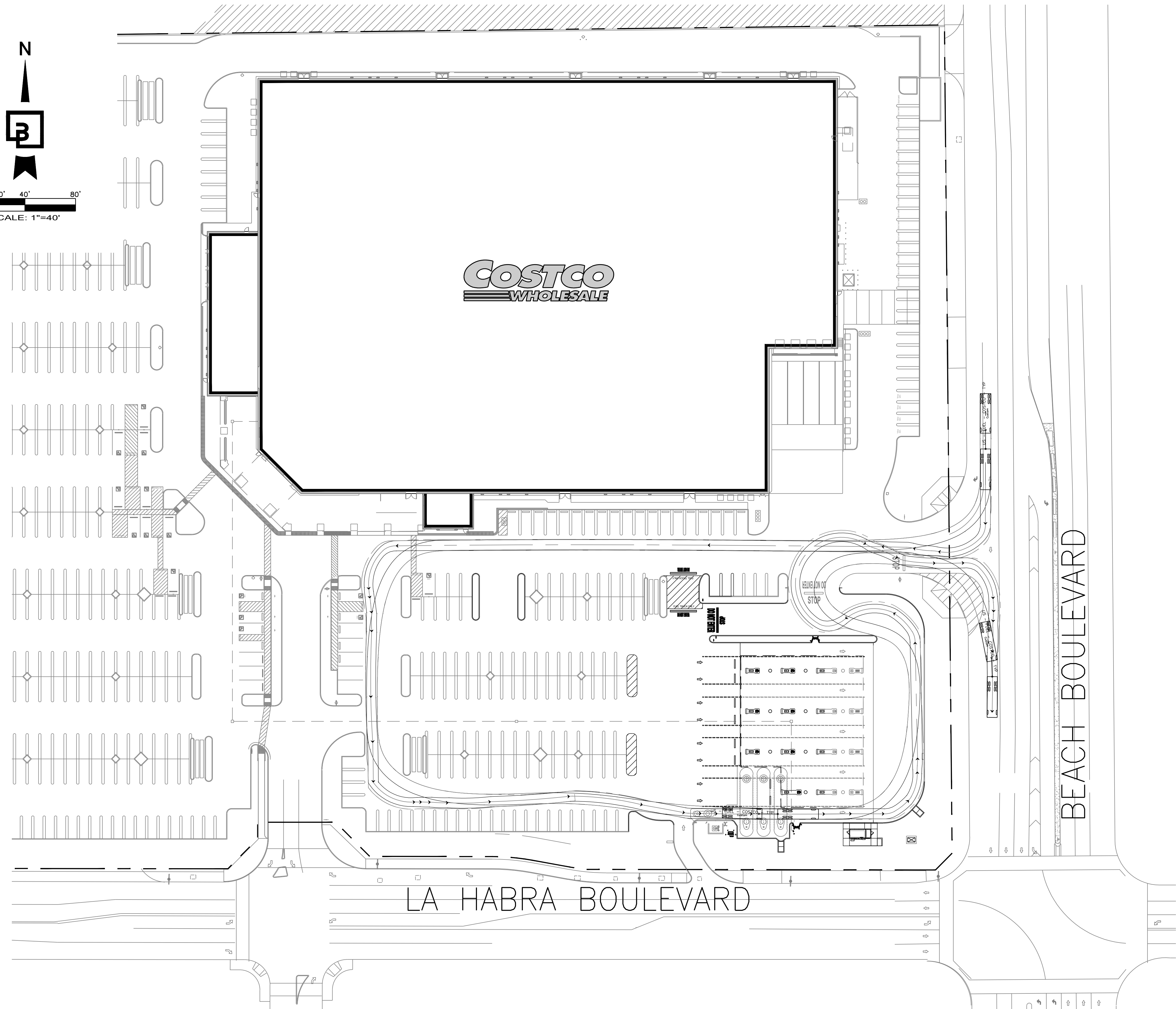
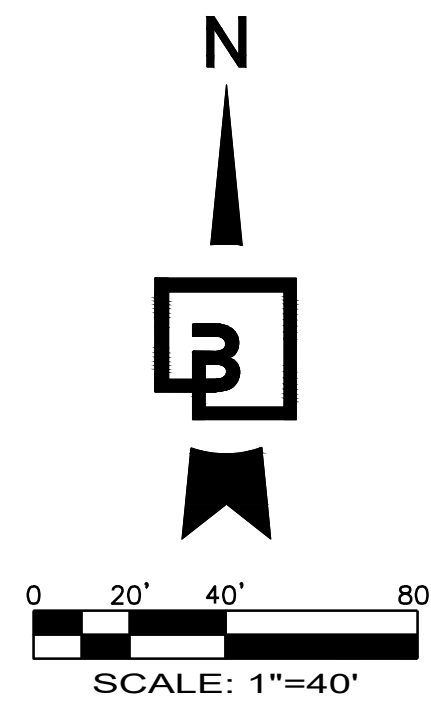
For: **Costco GASOLINE**
 COSTCO GASOLINE GAS STATION ADDITION
 999 LAKE DRIVE
 ISSAQUAH, WA 98027

Designed	Scale:
Drawn	Horizontal
Checked	Vertical
Approved	Date: 5/25/23

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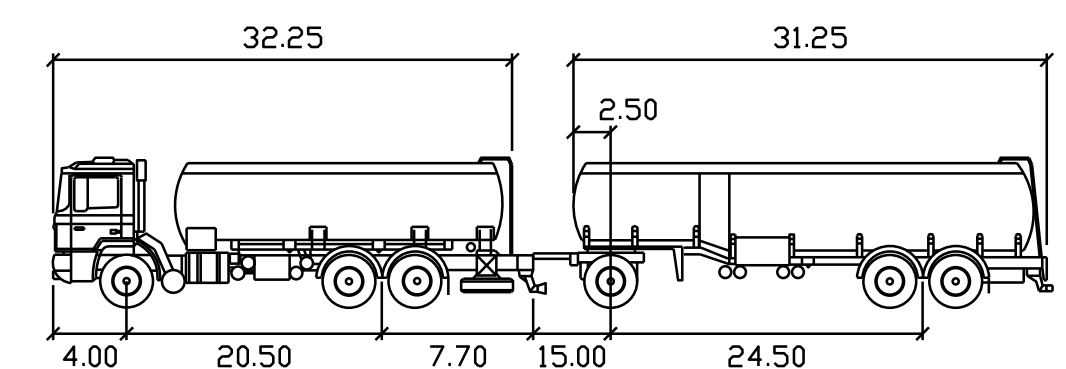


Job Number: **10426**
 Sheet: **DD-4**



NOTES

1. THIS PRELIMINARY SITE PLAN IS BASED ON PROPERTY LINE SURVEYS BY FUSCOE ENGINEERING, INC. DATED, 4/20/2018 & 4/23/2021.
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First Unit Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.50		

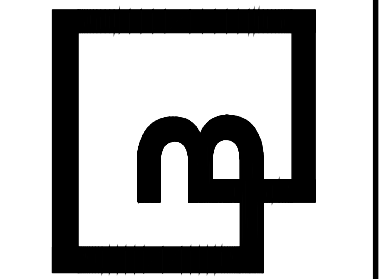
No.	Date	By	Chd.	Appr.	Revision

Title:
 ALTERNATE TANKER TURNING PLAN
 103 N. BEACH BLVD.
 LA HABRA, CA 90631
 LOCATION #777

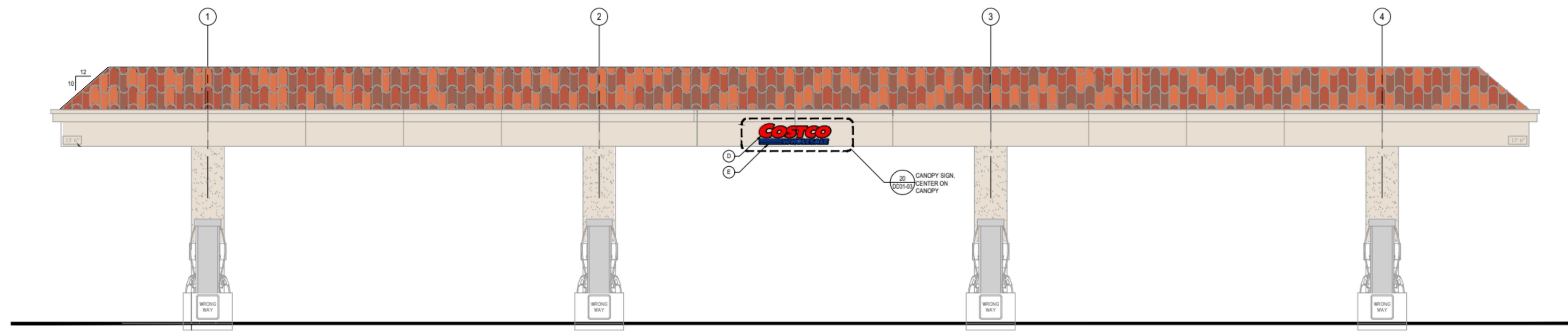
For:
Costco GASOLINE
 COSTCO GASOLINE GAS STATION ADDITION
 999 LAKE DRIVE
 ISSAQUAH, WA 98027

Designed	Scale:
Drawn	Horizontal
Checked	Vertical
Approved	Date: 5/25/23

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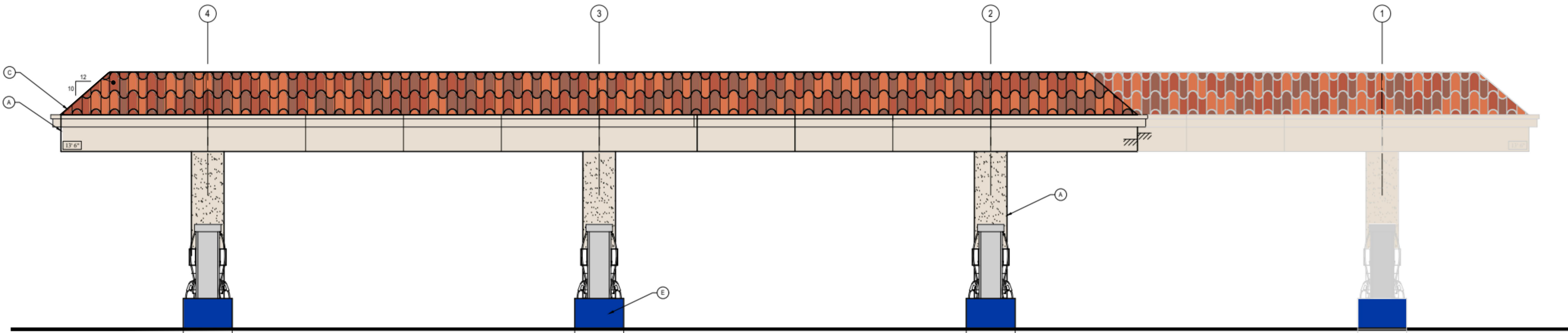


Job Number
10426
 Sheet
DD-4A



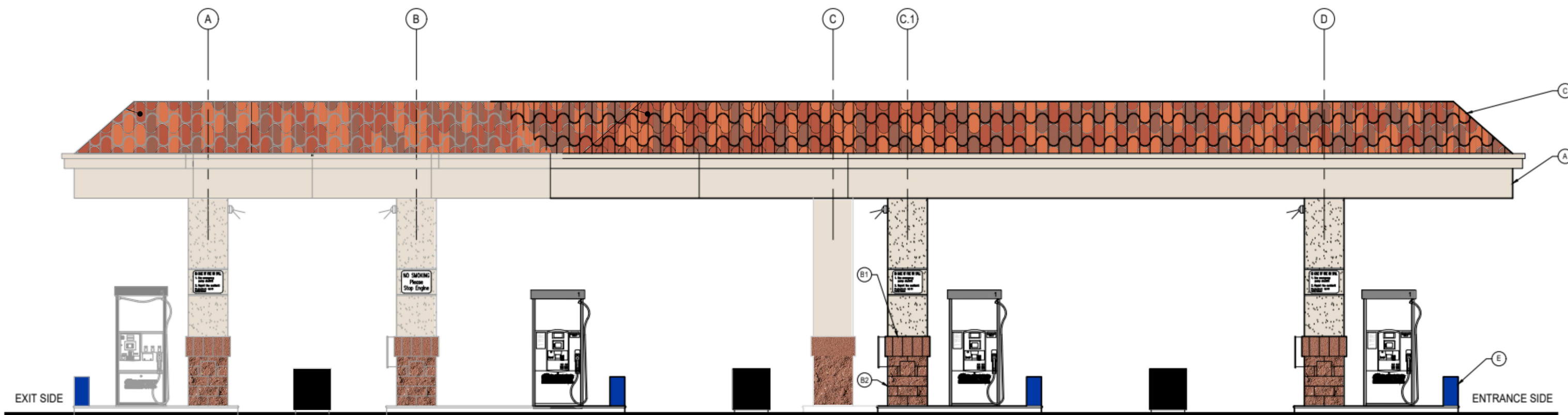
1 CANOPY & DISPENSER ISLANDS EAST ELEVATION
SCALE: 3/16" = 1'-0"

0114



6 CANOPY & DISPENSER ISLANDS WEST ELEVATION
SCALE: 3/16" = 1'-0"

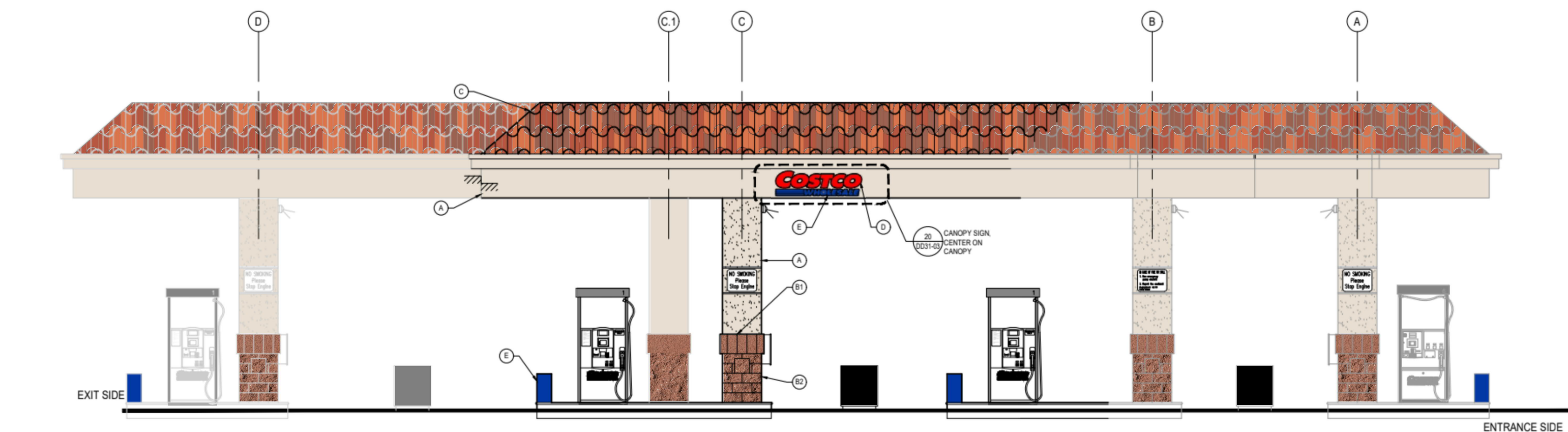
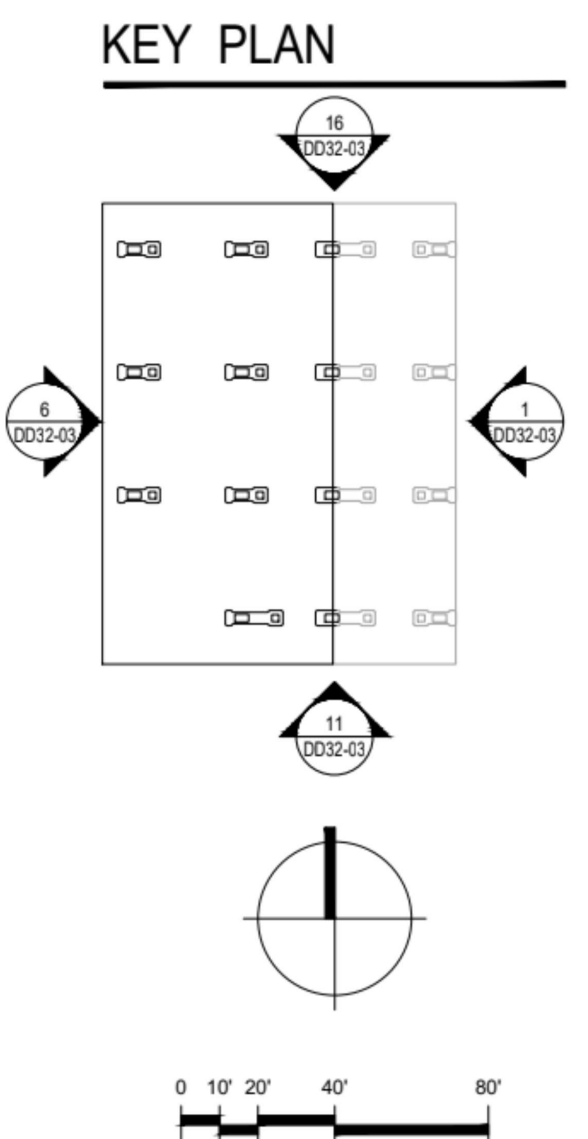
0114



11 CANOPY & DISPENSER ISLANDS NORTH ELEVATION
SCALE: 3/16" = 1'-0"

0114

MATERIALS				
(A) ALMOND SAND 6-16P UNITEX	(B1) AUBURN PRECISION ANGELUS BLOCK	(C) CLAY TILE MISSION BLEND MCA	(D) SAFETY RED SW4081 SHERWIN WILLIAMS	(E) LAPIZ LAZULI SW1805 SHERWIN WILLIAMS
	(B2) AUBURN SPLIT FACE ANGELUS BLOCK			



16 CANOPY & DISPENSER ISLANDS SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

0114

20 CANOPY SIGN
SCALE: 1/2" = 1'-0"

1212



COSTCO
WHOLESALE
LA HABRA, CA
#777

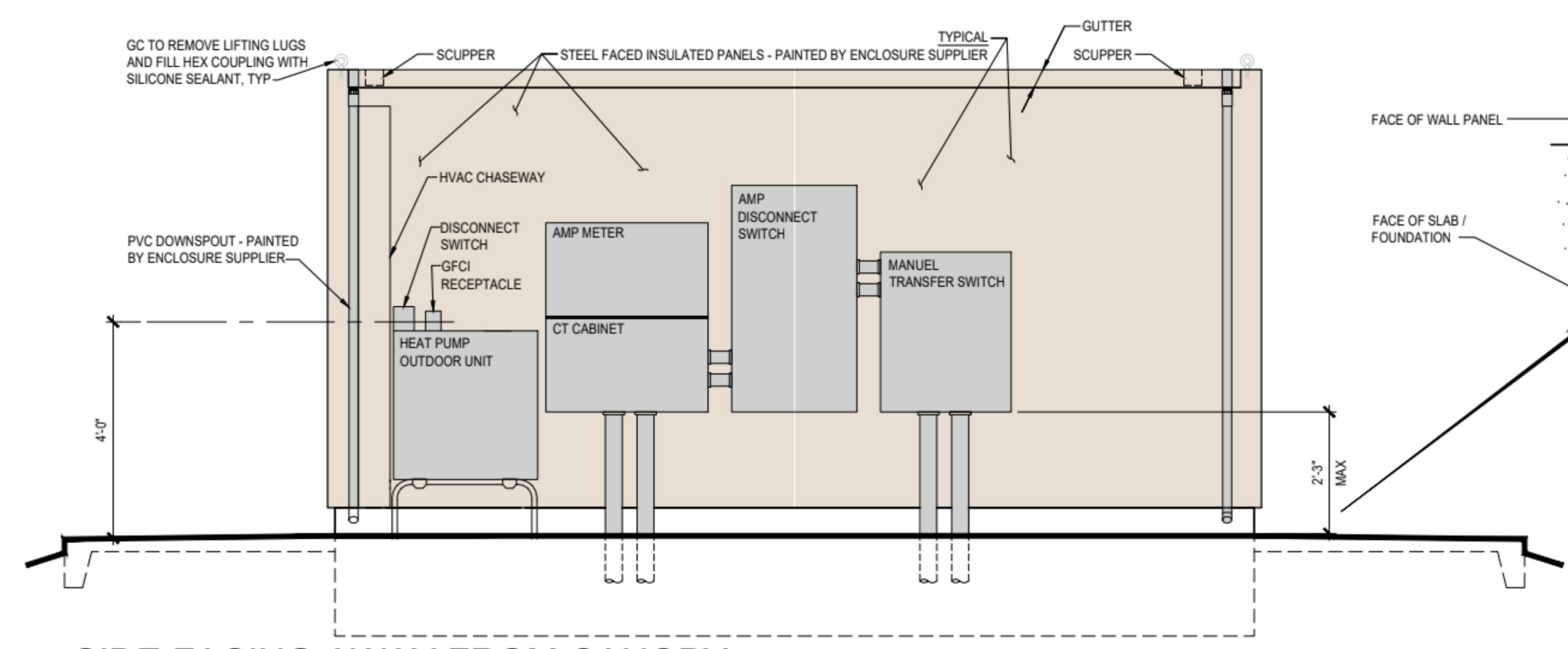
101 N. BEACH BLVD.
LA HABRA, CA 90631



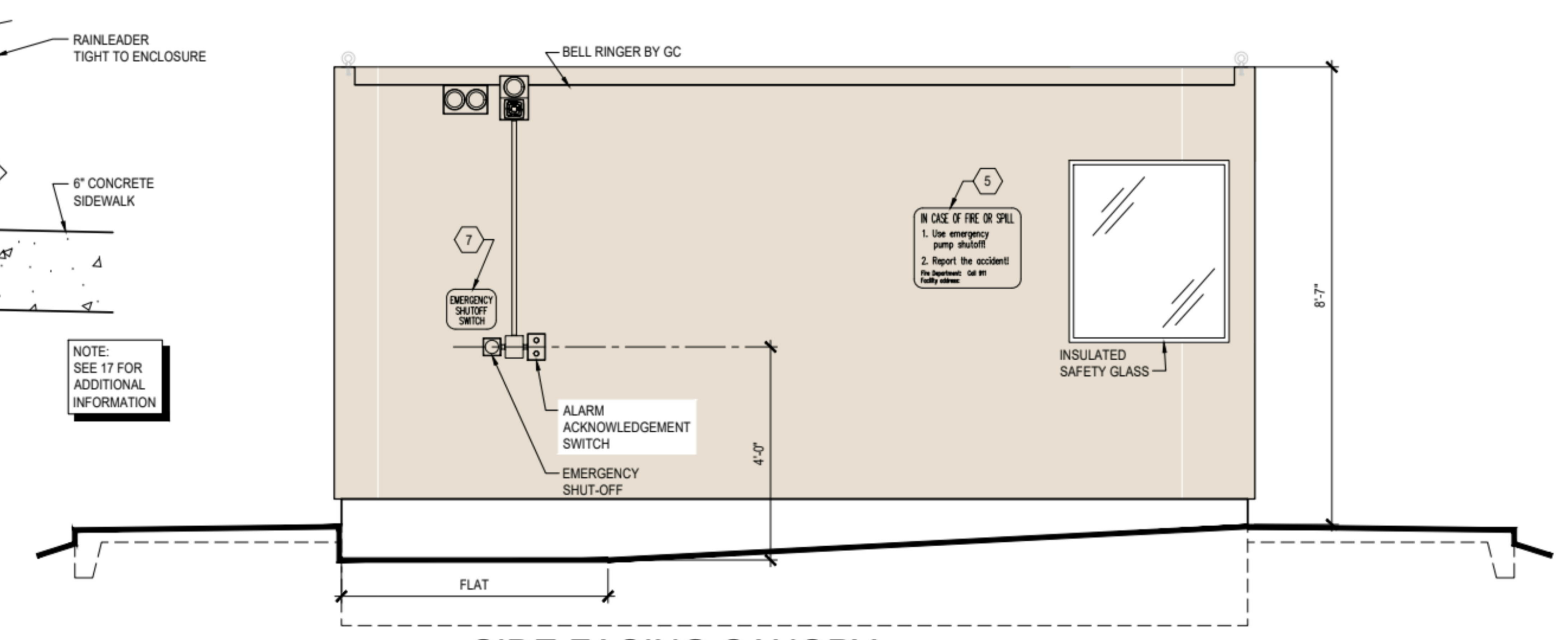
01-0480-13
FEBRUARY 2, 2022

CONCEPT
ELEVATIONS

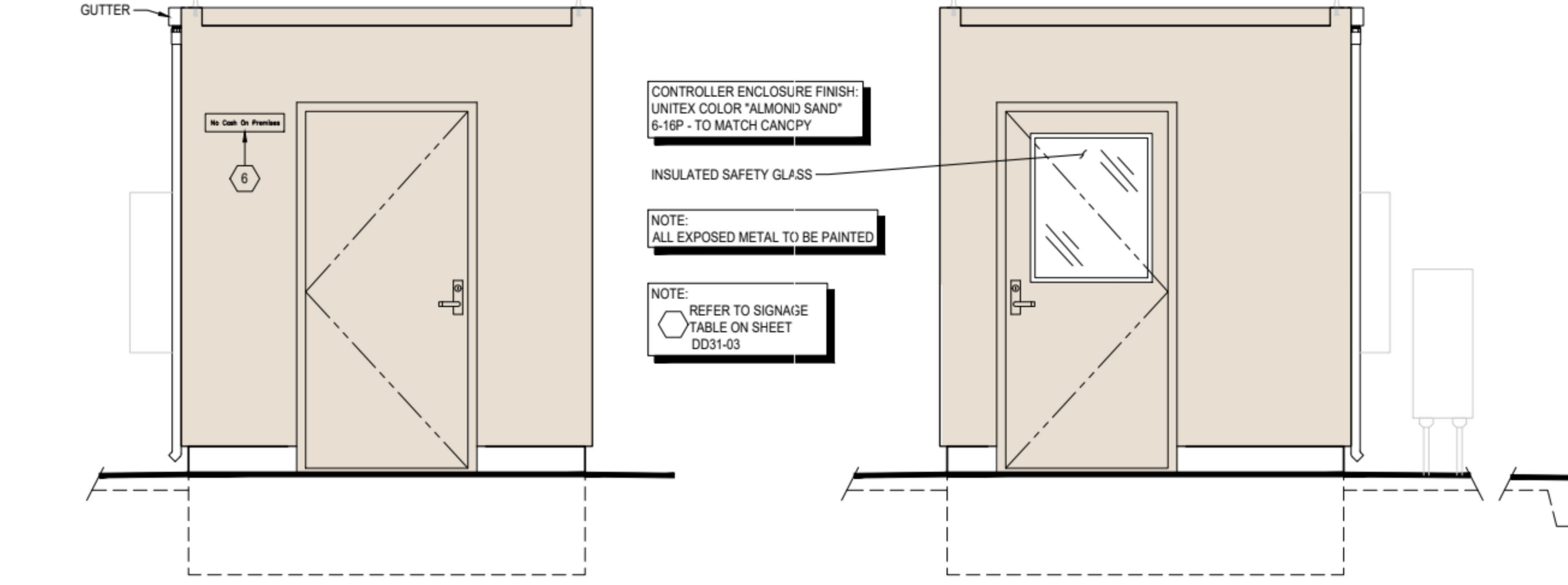
DD32-03



2 SIDE FACING AWAY FROM CANOPY
SCALE: 1/2" = 1'-0" 1121

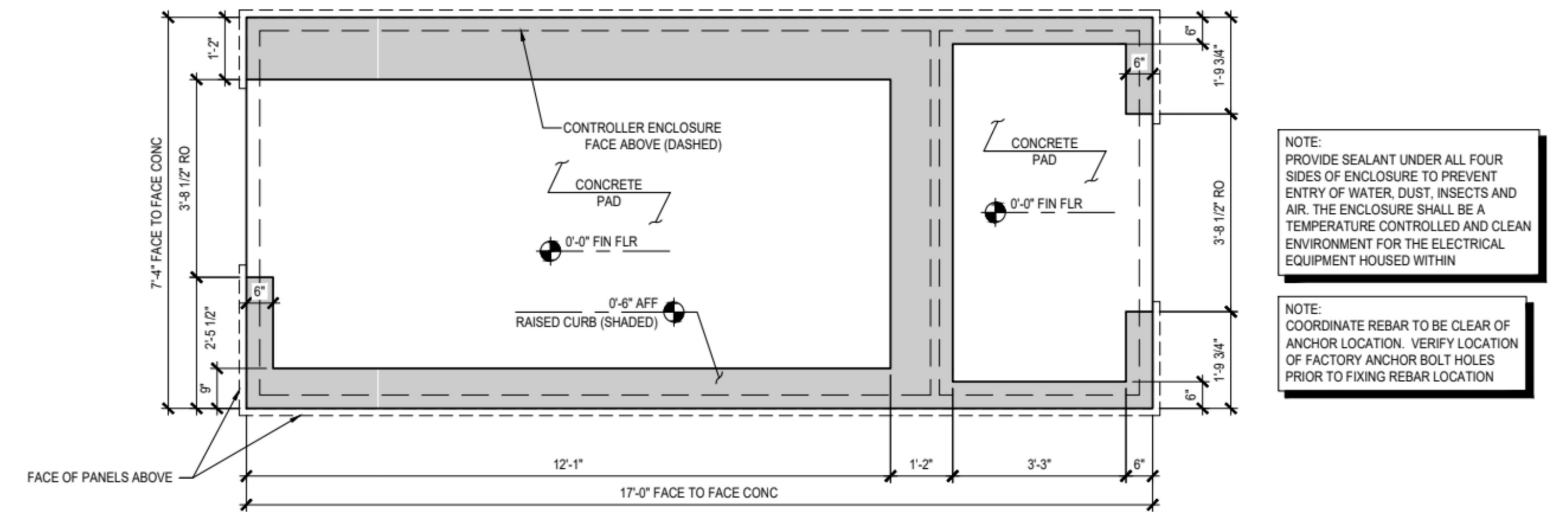


4 SIDE FACING CANOPY
SCALE: 1/2" = 1'-0" 0421

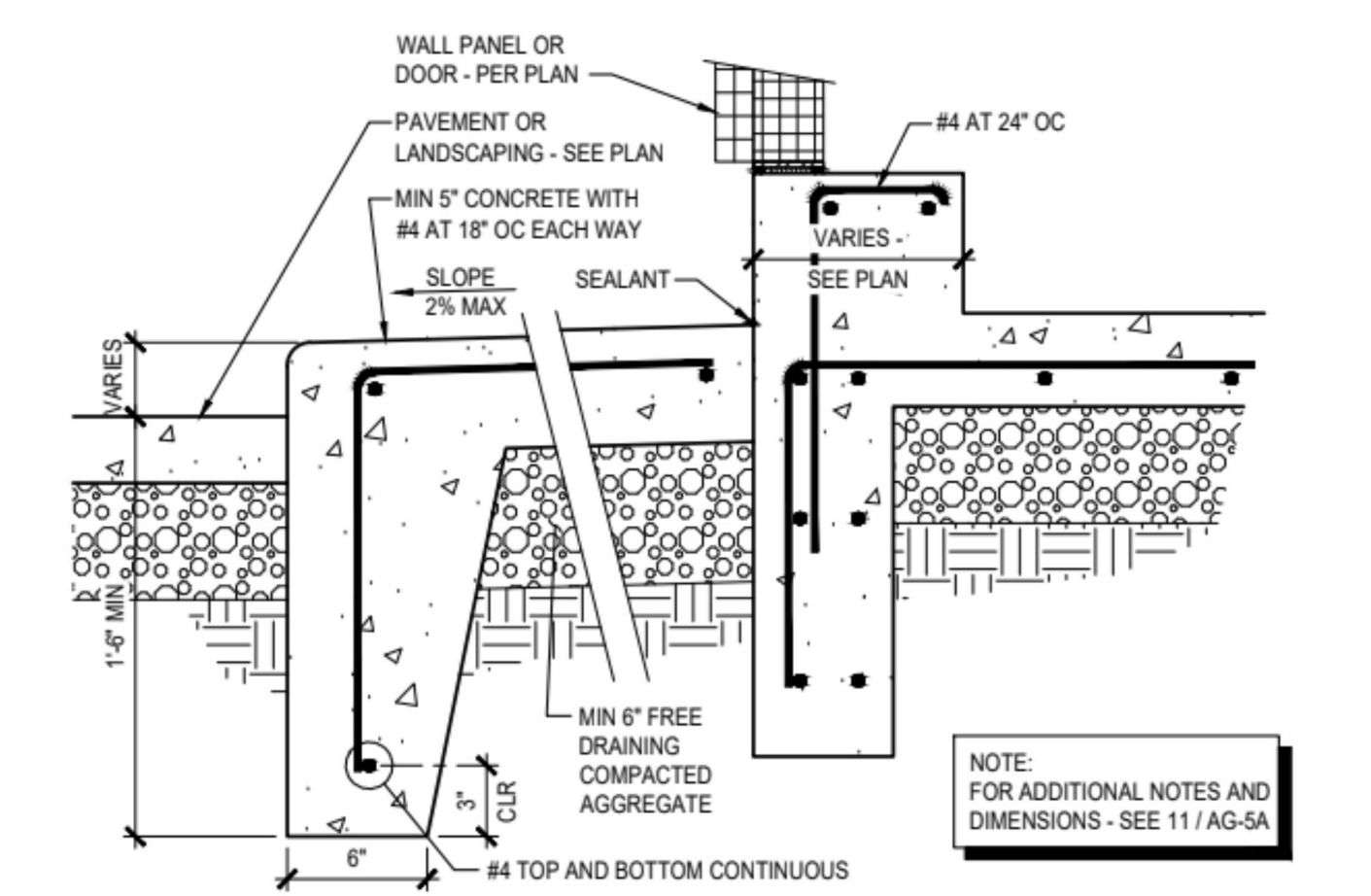


7 STORAGE ENTRY
SCALE: 1/2" = 1'-0" 1021

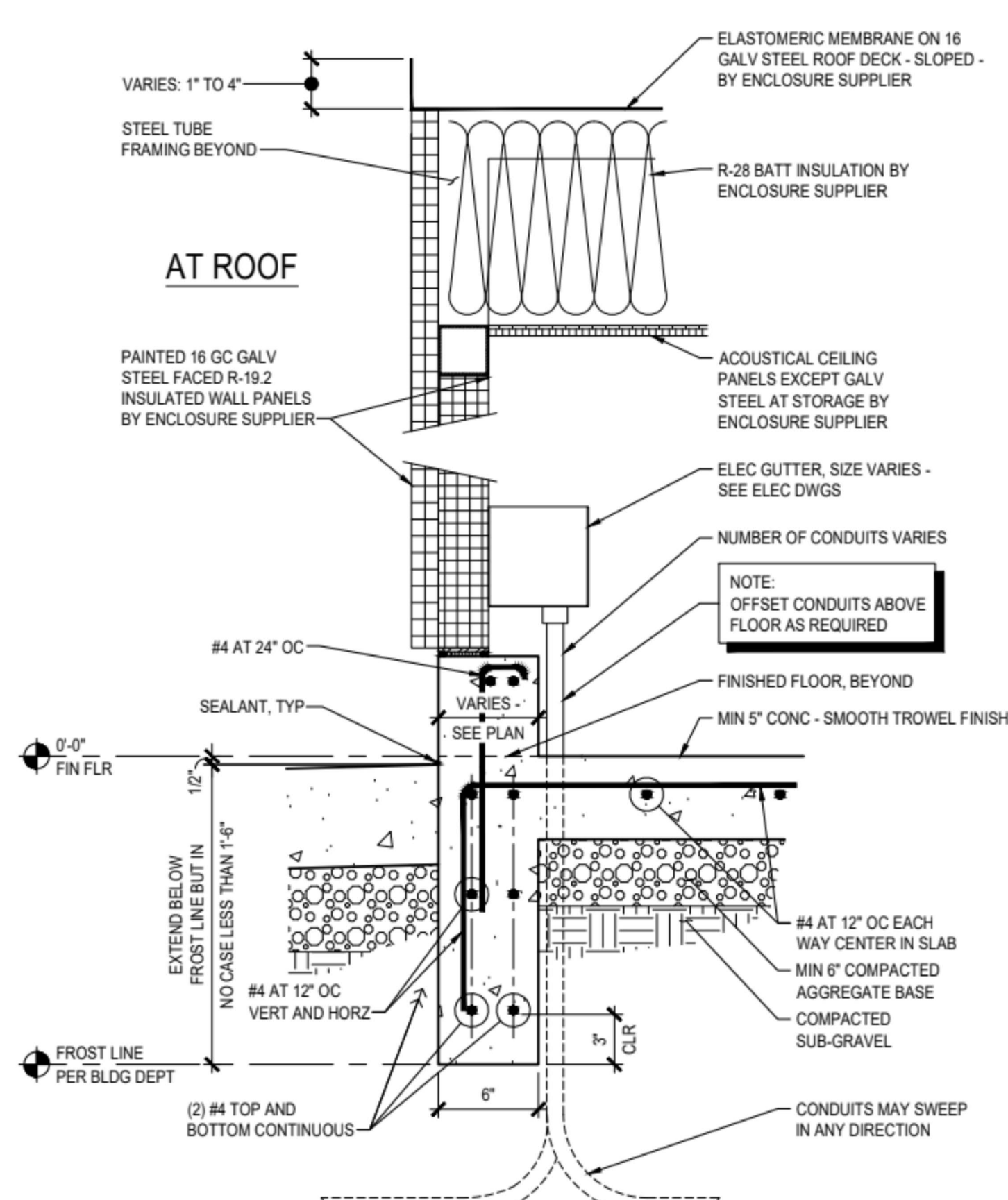
8 ELECTRICAL ENTRY
SCALE: 1/2" = 1'-0" 1121



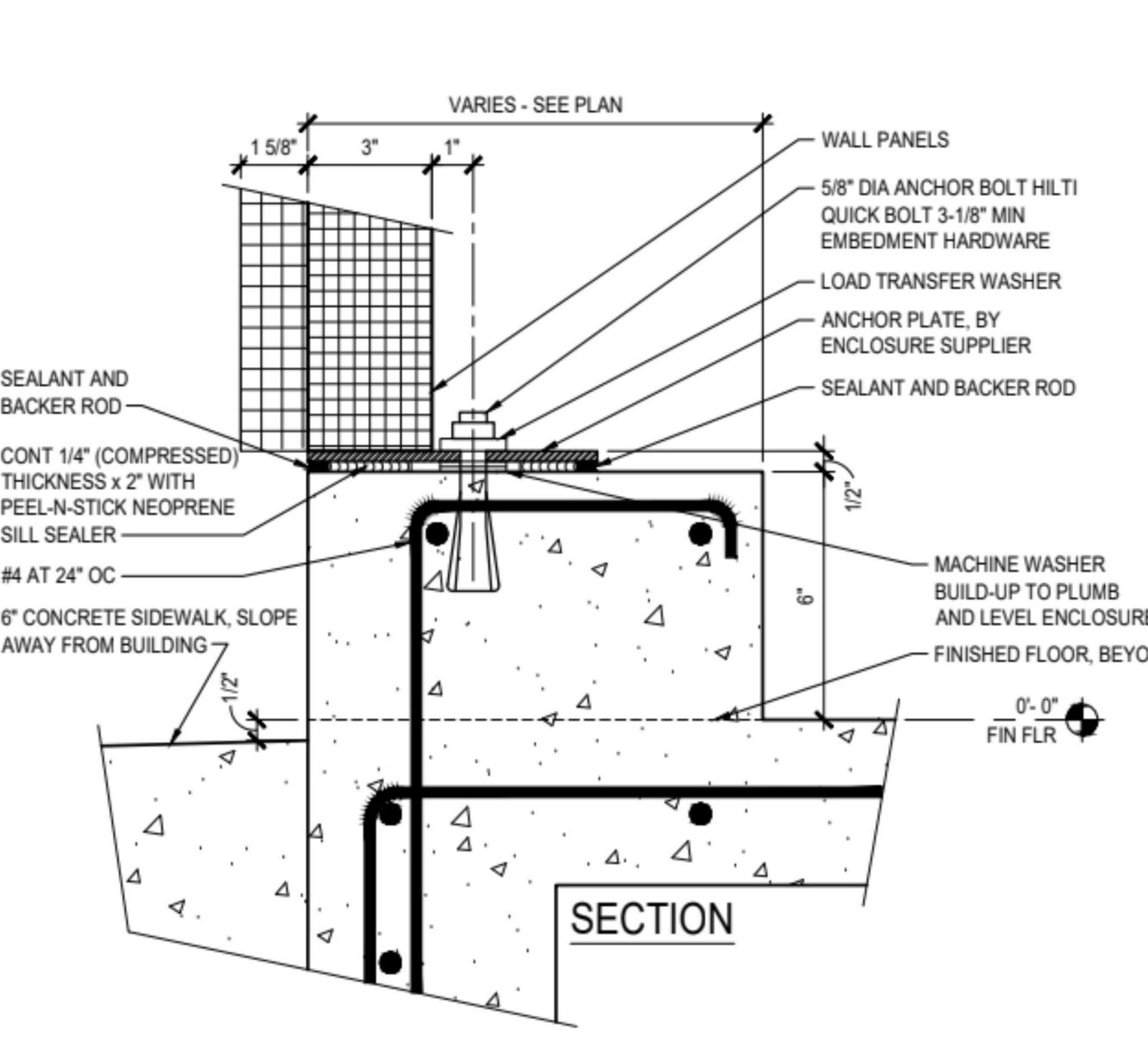
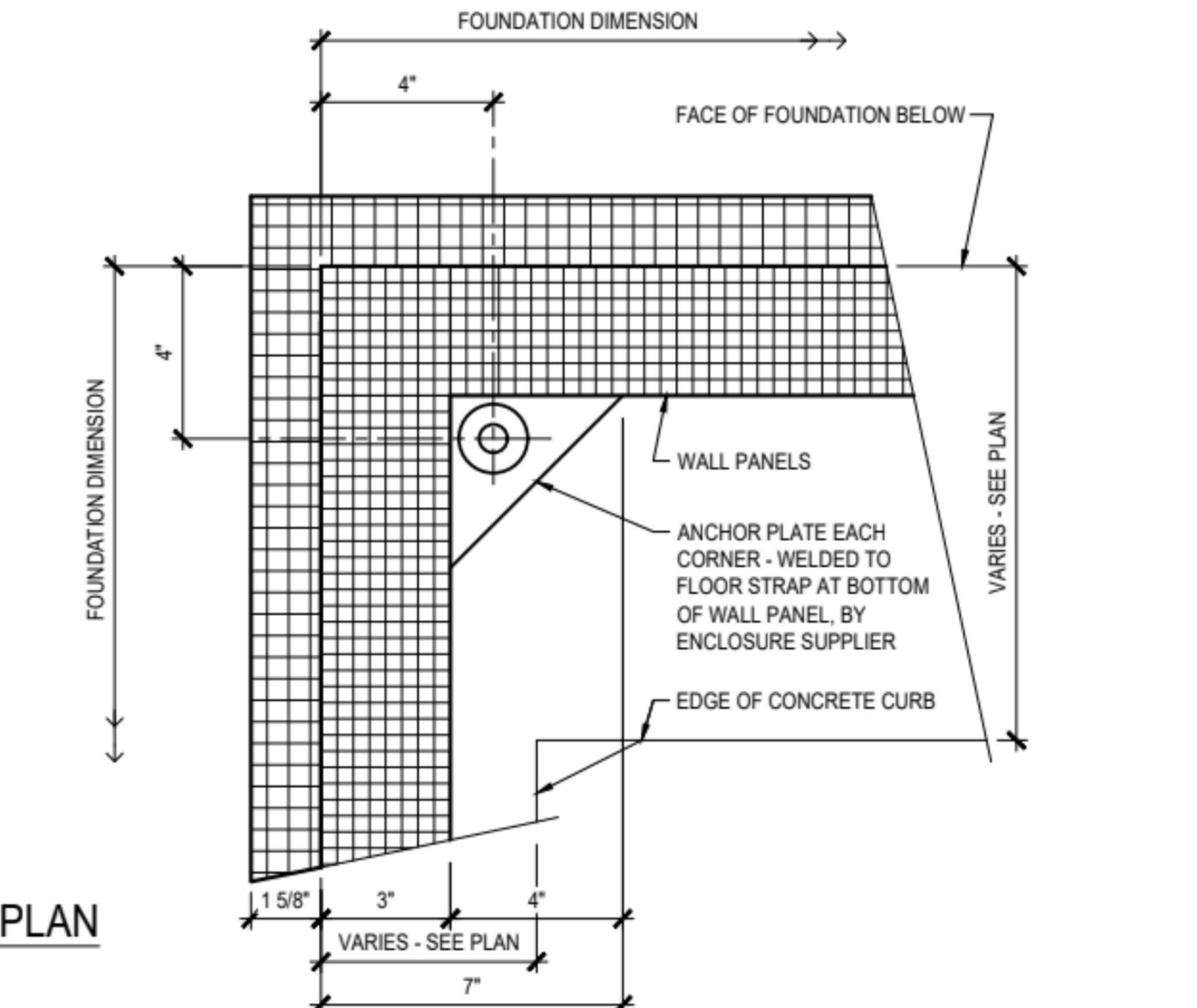
9 FOUNDATION PLAN
SCALE: 1/2" = 1'-0" 0721



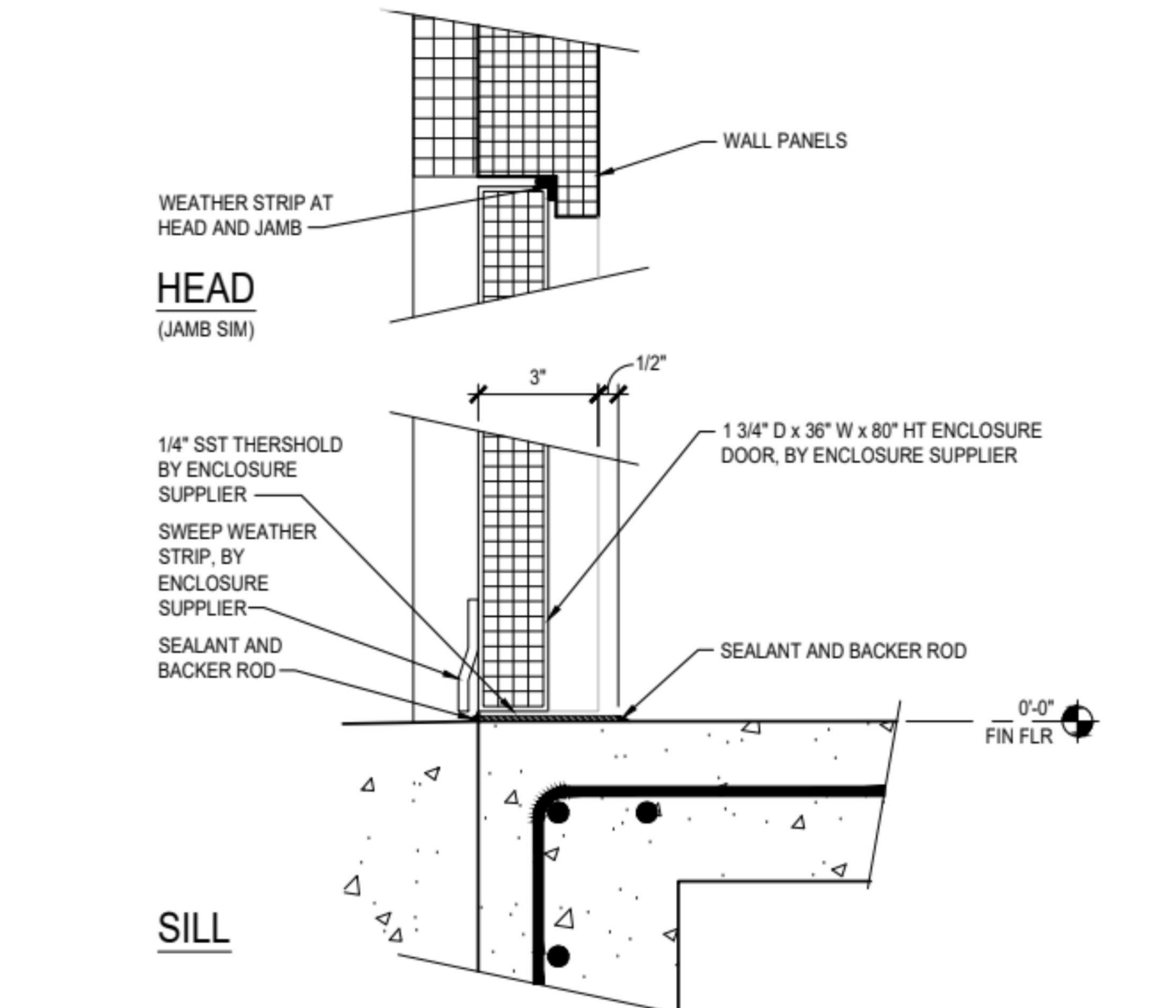
6 TYPICAL EDGE OF WALK
SCALE: 1-1/2" = 1'-0" 1021



11 TYPICAL WALL
SCALE: 1-1/2" = 1'-0" 0421



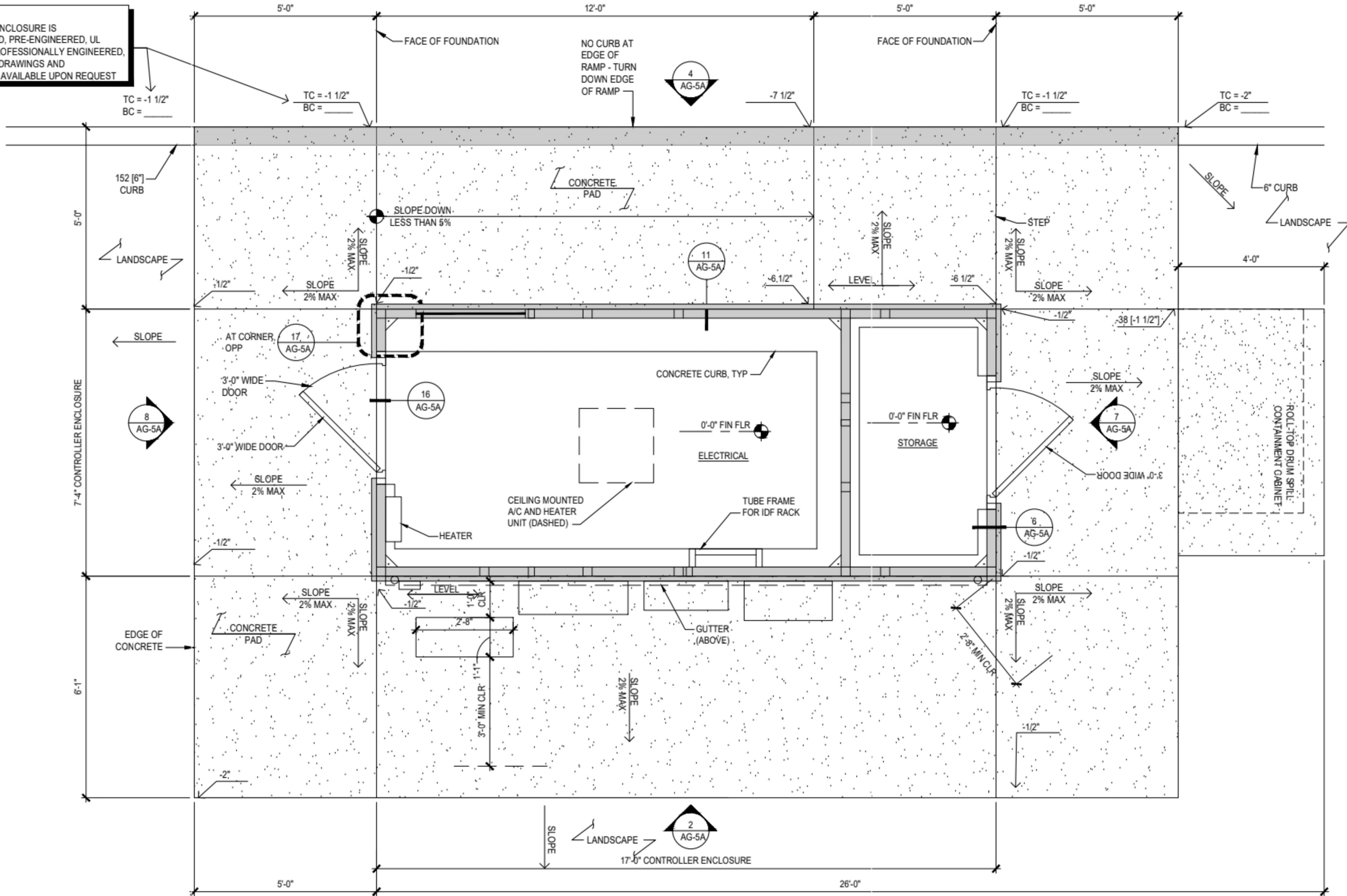
17 FOUNDATION CORNER
SCALE: 3" = 1'-0" 0421



16 FOUNDATION AT DOOR
SCALE: 3" = 1'-0" 0721

NOTE: BOTTOM OF CURB (BC) / PAVEMENT ELEVATIONS (AND CORRESPONDING CURB HEIGHTS) MAY VARY SLIGHTLY DUE TO FUELING SLAB GRADES - SEE CIVIL DWG

NOTE: CONTROLLER ENCLOSURE IS PREFABRICATED, PRE-ENGINEERED, UL APPROVED - PROFESSIONALLY ENGINEERED, WET STAMPED DRAWINGS AND CALCULATIONS AVAILABLE UPON REQUEST



19 CONTROLLER ENCLOSURE PLAN
SCALE: 1/2" = 1'-0" 0122



LA HABRA, CA #437

101 N. BEACH BLVD.
LA HABRA, CA 90631



01-0480-13
FEBRUARY 2, 2022

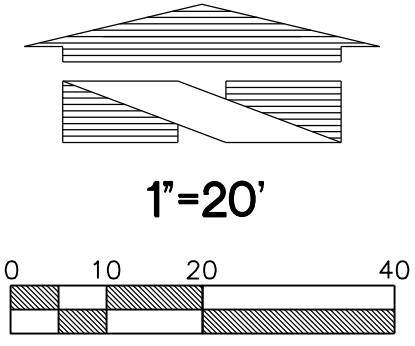
CONCEPT
CONTROLLER ENCLOSURE
DD16-03

SITE AND DRAINAGE PLAN

COSTCO WHOLESALE FUEL FACILITY EXPANSION

103 N BEACH BOULEVARD, LA HABRA, CA 90631

COSTCO FUEL FACILITY #777



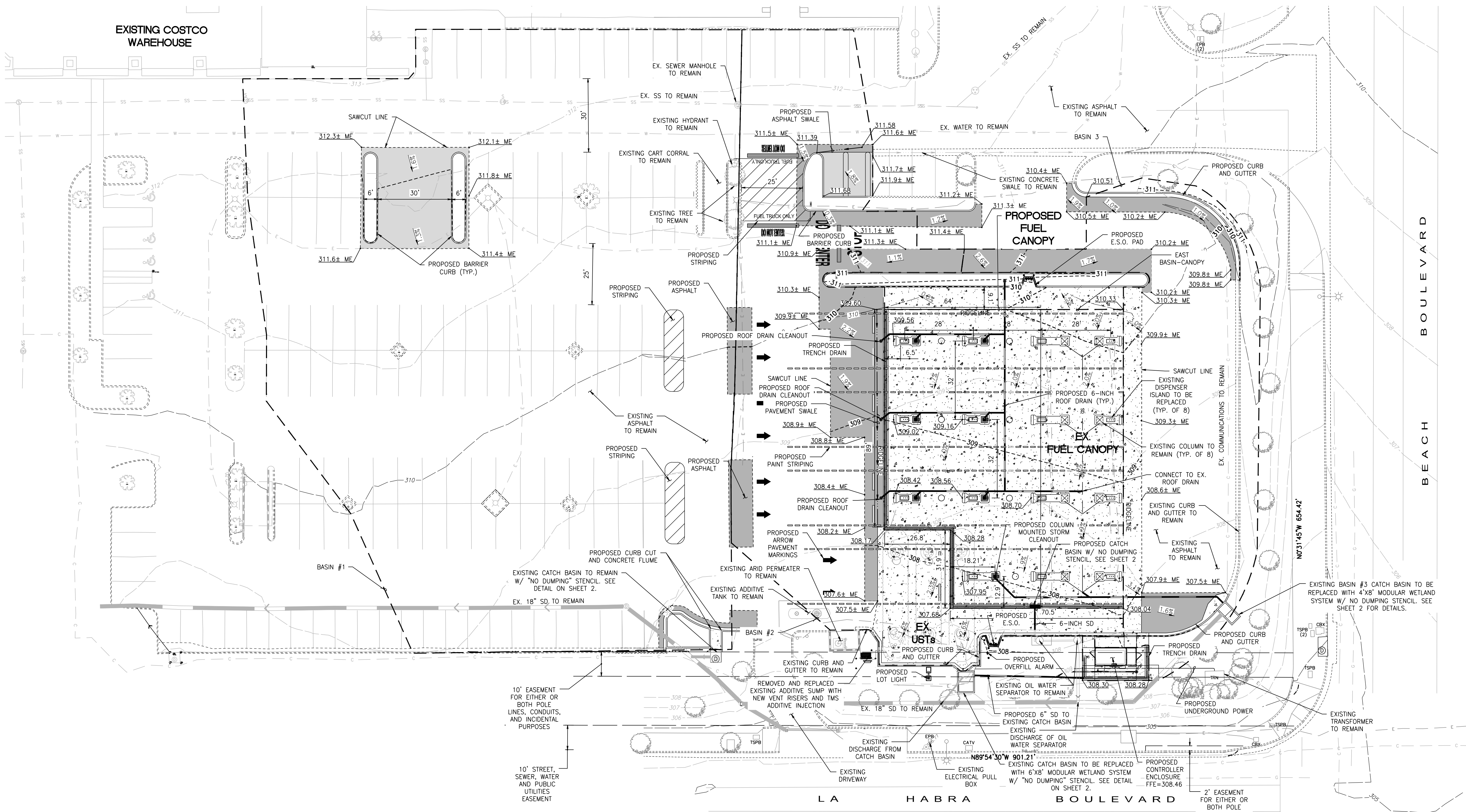
DISTURBED AREA SUMMARY:

	EXISTING	PERCENTAGE	PROPOSED	PERCENTAGE
TOTAL AREA =	24,958 SF			
IMPERVIOUS:	22,435 SF	90%	23,351 SF	94%
PERVIOUS:	2,523 SF	10%	1,607 SF	6%

NOTE:
 EAST MODULAR WETLAND SYSTEM IS SIZED FOR 21,948 SF TRIBUTARY AREA WITH 20,354 SF OF IMPERVIOUS AREA.
 WEST MODULAR WETLAND SYSTEM IS SIZED FOR 16,736 SF TRIBUTARY AREA WITH 16,485 SF OF IMPERVIOUS AREA.

LEGEND

	EXISTING CONCRETE		PROPOSED ASPHALT
	EXISTING CURB		PROPOSED CONCRETE
	EXISTING CANOPY DRIPLINE		PROPOSED CURB
	EXISTING EASEMENT		SAWCUT LINE
	EXISTING EDGE OF PAVEMENT		PROPOSED STORM PIPE
	EXISTING STORM DRAIN		PROPOSED CANOPY
	EXISTING UNDERGROUND WATER LINE		PROPOSED INLET
	EXISTING UNDERGROUND TELEPHONE LINE		PROPOSED CLEANOUT
	EXISTING UNDERGROUND POWER		PROPOSED SPOT GRADE
	EXISTING STORM DRAIN CATCH BASIN		PROPOSED GRADING SLOPE
	EXISTING STORM CLEANOUT		MATCH EXISTING
	EXISTING SPOT ELEVATION		PROPOSED MULTI-PRODUCT DISPENSER
	EXISTING TREE TO REMAIN		EXISTING TREE TO BE REMOVED



No.	Date	By	Chd.	Appr.	Revision
3	6/2/23	JSI	MESP	CRU	LAND USE RESUBMITTAL
1	1/7/2022	JSI	JRH	JSI	LAND USE RESUBMITTAL

For: **COSTCO GASOLINE**
 COSTCO WHOLESALE
 999 LAKE DRIVE
 ISSAQUAH, WA 98027

For: **HAL P. GRUBB**
 67814
 LICENSED PROFESSIONAL ENGINEER
 CIVIL
 STATE OF CALIFORNIA 06/27/23

Scale: Horizontal 1"=20', Vertical N/A

Designed: JSI, Drawn: JSI, Checked: MESP, Approved: CRU, Date: 4/14/21

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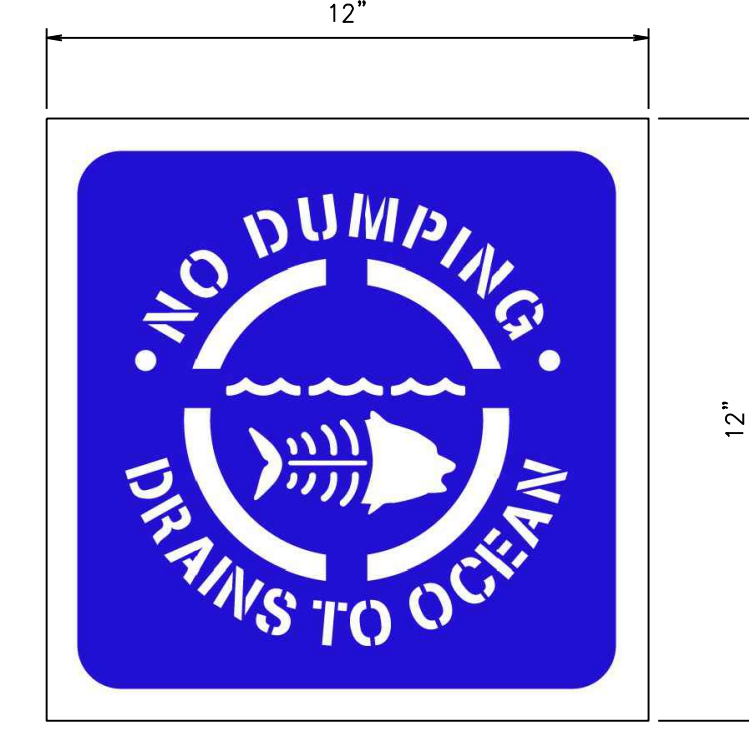
Job Number: 10426
 Sheet: 1 of 2

SITE AND DRAINAGE PLAN DETAILS

COSTCO WHOLESALE FUEL FACILITY EXPANSION

103 N BEACH BOULEVARD, LA HABRA, CA 90631

COSTCO FUEL FACILITY #777



STORM DRAIN INLET STENCILING

SITE SPECIFIC DATA			
PROJECT NUMBER	587669		
PROJECT NAME	Costco Fuel Facility (BCE#10426)		
PROJECT LOCATION	La Habra, CA		
STRUCTURE ID	East Basin		
TREATMENT REQUIRED			
FLOW BASED (CFS)			
0.10			
PEAK BYPASS REQUIRED (CFS) - IF APPLICABLE	0.796 CFS		
PIPE DATA	LE	MATERIAL	DIAMETER
INLET PIPE 1	303.33"	N/A	6"
INLET PIPE 2	N/A	N/A	N/A
OUTLET PIPE	302.83"	N/A	18"
PRETREATMENT	BIOFILTRATION	DISCHARGE	
RIM ELEVATION	307.49'		
SURFACE LOAD	PEDESTRIAN		

NOTES: EOR to provide elevations and peak flow prior to order.
Curb & pipe inlet. Peak HGL = 305.94'

* PRELIMINARY NOT FOR CONSTRUCTION

PLAN VIEW

LEFT END VIEW

ELEVATION VIEW

RIGHT END VIEW

TREATMENT FLOW (CFS)	0.1
OPERATING HEAD (FT)	2.9
PRETREATMENT LOADING RATE (GPM/SF)	1.8
WETLAND MEDIA LOADING RATE (GPM/SF)	1.0

MWS-L-4-8-V
STORMWATER BIOFILTRATION SYSTEM
STANDARD DETAIL

INSTALLATION NOTES

- CONTRACTOR TO PROVIDE ALL LABOR, EQUIPMENT, MATERIALS AND INCIDENTALS REQUIRED TO OFFLOAD AND INSTALL THE SYSTEM AND APPURTENANCES IN ACCORDANCE WITH THIS DRAWING AND THE MANUFACTURER'S SPECIFICATIONS, UNLESS OTHERWISE STATED IN MANUFACTURER'S CONTRACT.
- UNIT MUST BE INSTALLED ON LEVEL BASE. MANUFACTURER RECOMMENDS A MINIMUM 6" LEVEL ROOF BASE UNLESS SPECIFIED BY THE PROJECT ENGINEER. CONTRACTOR IS RESPONSIBLE FOR VERIFYING PROJECT ENGINEER'S RECOMMENDED BASE SPECIFICATIONS.
- CONTRACTOR TO SUPPLY AND INSTALL ALL EXTERNAL CONNECTING PIPES. ALL PIPES MUST BE FLUSH WITH INSIDE SURFACE OF CONCRETE (PIPES CANNOT INTRUDE BEYOND FLUSH). INVERT OF OUTFLOW PIPE MUST BE FLUSH WITH DISCHARGE CHAMBER FLOOR. ALL PIPES SHALL BE SEALED WATER TIGHT PER MANUFACTURER'S STANDARD CONNECTION DETAIL.
- CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL PIPES, RISERS, MANHOLES, AND HATCHES. CONTRACTOR TO USE GROUT AND/OR BRICKS TO MATCH COVERS WITH FINISHED SURFACE UNLESS SPECIFIED OTHERWISE.
- VEGETATION SUPPLIED AND INSTALLED BY OTHERS. ALL UNITS WITH VEGETATION MUST HAVE DRIP OR SPRAY IRRIGATION SUPPLIED AND INSTALLED BY OTHERS.
- CONTRACTOR RESPONSIBLE FOR CONTACTING CONTECH FOR ACTIVATION OF UNIT. MANUFACTURER'S WARRANTY IS VOID WITHOUT PROPER ACTIVATION BY A CONTECH REPRESENTATIVE.

GENERAL NOTES

- MANUFACTURER TO PROVIDE ALL MATERIALS UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS, ELEVATIONS, SPECIFICATIONS AND CAPACITIES ARE SUBJECT TO CHANGE. FOR PROJECT SPECIFIC DRAWINGS DETAILING EXACT DIMENSIONS, WEIGHTS AND ACCESSORIES PLEASE CONTACT CONTECH.

SITE SPECIFIC DATA			
PROJECT NUMBER	587669		
PROJECT NAME	Costco Fuel Facility (BCE#10426)		
PROJECT LOCATION	La Habra, CA		
STRUCTURE ID	West Basin		
TREATMENT REQUIRED			
FLOW BASED (CFS)			
0.077			
PEAK BYPASS REQUIRED (CFS) - IF APPLICABLE	0.627 cfs		
PIPE DATA	LE	MATERIAL	DIAMETER
INLET PIPE 1	305.19"	N/A	6"
INLET PIPE 2	N/A	N/A	N/A
OUTLET PIPE	304.06"	N/A	8"
PRETREATMENT	BIOFILTRATION	DISCHARGE	
RIM ELEVATION	307.10'		
SURFACE LOAD	PEDESTRIAN		

NOTES: EOR to provide final elevations prior to order. Inlet pipe only.
Peak HGL = 305.98'

* PRELIMINARY NOT FOR CONSTRUCTION

PLAN VIEW

LEFT END VIEW

ELEVATION VIEW

RIGHT END VIEW

TREATMENT FLOW (CFS)	0.077
OPERATING HEAD (FT)	1.8
PRETREATMENT LOADING RATE (GPM/SF)	0.9
WETLAND MEDIA LOADING RATE (GPM/SF)	1.0

MWS-L-6-8-V
STORMWATER BIOFILTRATION SYSTEM
STANDARD DETAIL

INSTALLATION NOTES

- CONTRACTOR TO PROVIDE ALL LABOR, EQUIPMENT, MATERIALS AND INCIDENTALS REQUIRED TO OFFLOAD AND INSTALL THE SYSTEM AND APPURTENANCES IN ACCORDANCE WITH THIS DRAWING AND THE MANUFACTURER'S SPECIFICATIONS, UNLESS OTHERWISE STATED IN MANUFACTURER'S CONTRACT.
- UNIT MUST BE INSTALLED ON LEVEL BASE. MANUFACTURER RECOMMENDS A MINIMUM 6" LEVEL ROOF BASE UNLESS SPECIFIED BY THE PROJECT ENGINEER. CONTRACTOR IS RESPONSIBLE FOR VERIFYING PROJECT ENGINEER'S RECOMMENDED BASE SPECIFICATIONS.
- CONTRACTOR TO SUPPLY AND INSTALL ALL EXTERNAL CONNECTING PIPES. ALL PIPES MUST BE FLUSH WITH INSIDE SURFACE OF CONCRETE (PIPES CANNOT INTRUDE BEYOND FLUSH). INVERT OF OUTFLOW PIPE MUST BE FLUSH WITH DISCHARGE CHAMBER FLOOR. ALL PIPES SHALL BE SEALED WATER TIGHT PER MANUFACTURER'S STANDARD CONNECTION DETAIL.
- CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL PIPES, RISERS, MANHOLES, AND HATCHES. CONTRACTOR TO USE GROUT AND/OR BRICKS TO MATCH COVERS WITH FINISHED SURFACE UNLESS SPECIFIED OTHERWISE.
- VEGETATION SUPPLIED AND INSTALLED BY OTHERS. ALL UNITS WITH VEGETATION MUST HAVE DRIP OR SPRAY IRRIGATION SUPPLIED AND INSTALLED BY OTHERS.
- CONTRACTOR RESPONSIBLE FOR CONTACTING CONTECH FOR ACTIVATION OF UNIT. MANUFACTURER'S WARRANTY IS VOID WITHOUT PROPER ACTIVATION BY A CONTECH REPRESENTATIVE.

GENERAL NOTES

- MANUFACTURER TO PROVIDE ALL MATERIALS UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS, ELEVATIONS, SPECIFICATIONS AND CAPACITIES ARE SUBJECT TO CHANGE. FOR PROJECT SPECIFIC DRAWINGS DETAILING EXACT DIMENSIONS, WEIGHTS AND ACCESSORIES PLEASE CONTACT CONTECH.

EAST MODULAR WETLAND SYSTEM UNIT

NOT TO SCALE

WEST MODULAR WETLAND SYSTEM UNIT

NOT TO SCALE

No.	Date	By	Chd.	Appr.	Revision
3	6/27/23	JSI	MESP	CRU	LAND USE RESUBMITTAL
1	1/20/22	JRH	MSP	JRU	LAND USE RESUBMITTAL

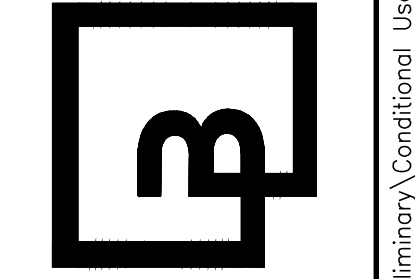
Title: SITE AND DRAINAGE PLAN DETAILS
103 N BEACH BOULEVARD
LA HABRA, CA 90631
COSTCO FUEL FACILITY #777

Costco GASOLINE
COSTCO WHOLESALE
999 LAKE DRIVE
ISSAQUAH, WA 98027

For: **HAL P. GRUBB**
67814
LICENSED PROFESSIONAL ENGINEER
STATE OF CALIFORNIA
06/27/23

Scale: Horizontal N/A, Vertical N/A
Designed: JSI, Drawn: JSI, Checked: MESP, Approved: CBL, Date: 4/14/21

Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com



Job Number: 10426
Sheet: 2 of 2

PRELIMINARY LANDSCAPE PLAN
COSTCO WHOLESALE FUEL FACILITY EXPANSION
103 N BEACH BOULEVARD, LA HABRA, CA 90631
COSTCO FUEL FACILITY #777



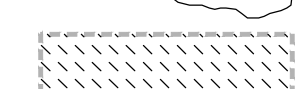
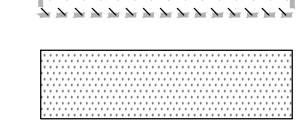
LANDSCAPE CALCULATIONS

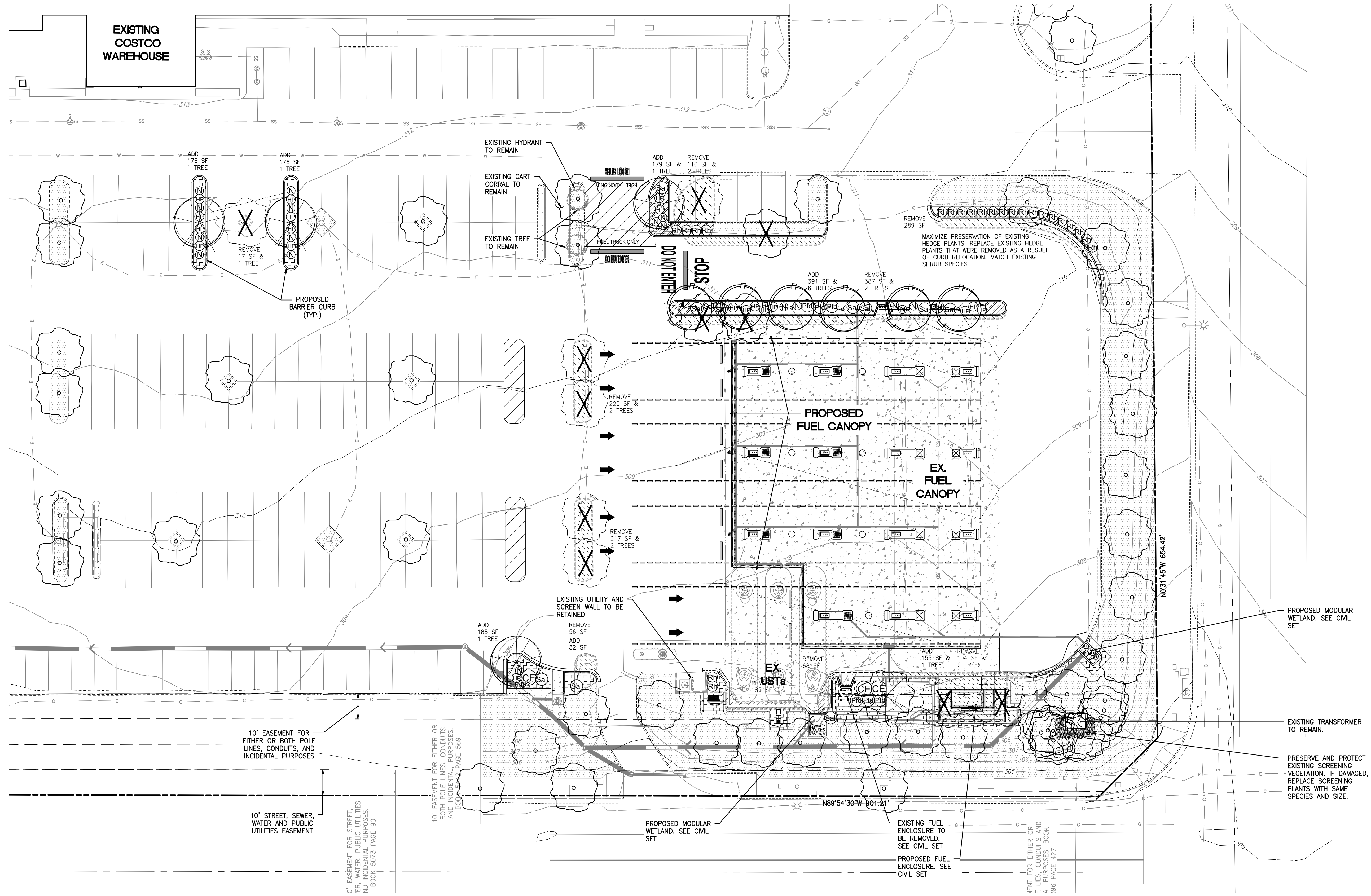
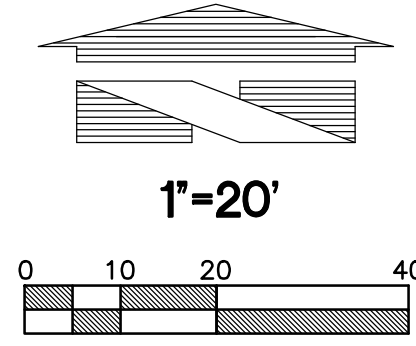
TOTAL PARKING LOT LANDSCAPE AREA TO BE REMOVED = 1,653 SF
 TOTAL PARKING LOT LANDSCAPE AREA TO BE ADDED = 1,294 SF
 NET PARKING LOT LANDSCAPE AREA LOSS = 359 SF

TOTAL TREES REMOVED = 11
 TOTAL TREES PROVIDED = 11

NOTE: BIDDER-DESIGNED IRRIGATION SYSTEM. CONNECT TO EXISTING IRRIGATION. NOTIFY LANDSCAPE ARCHITECT IF EXISTING SYSTEM OR WATER PRESSURE ARE INADEQUATE TO IRRIGATE NEW LANDSCAPE AREAS.

LANDSCAPE LEGEND

-  EXISTING TREE TO BE RETAINED
-  EXISTING TREE TO BE REMOVED
-  EXISTING LANDSCAPING TO BE REMOVED
-  EXISTING LANDSCAPING TO REMAIN



No.	Date	By	Clcd.	Appr.	Revision
06/16/23	JMV	JMV	JMV	JMV	LANDSCAPE RESUBMITTAL
05/11/23	LFP	JMV	JMV	JMV	LAND USE SUBMITTAL

Title:
 PRELIMINARY LANDSCAPE PLAN
 103 N BEACH BOULEVARD
 LA HABRA, CA 90631
 COSTCO FUEL FACILITY #777

For:
COSTCO WHOLESALE
 999 LAKE DRIVE
 ISSAQUAH, WA 98027

NOT FOR CONSTRUCTION

Scale: Horizontal 1"=20', Vertical N/A

Designed: LFP, Drawn: LFP, Checked: JMV, Approved: JMV, Date: 05/11/23

18215 72ND AVENUE SOUTH
 KENT, WA 98032
 (425)251-6222
 (425)251-8752 FAX

BARGHAUSEN CONSULTING ENGINEERS, INC.
 CIVIL ENGINEERING, LAND PLANNING,
 SURVEYING, ENVIRONMENTAL SERVICES

Job Number: 10426
 Sheet: L1 of 2

PRELIMINARY LANDSCAPE NOTES + DETAILS

COSTCO WHOLESALE FUEL FACILITY EXPANSION

103 N BEACH BOULEVARD, LA HABRA, CA 90631

COSTCO FUEL FACILITY #777

LANDSCAPE PLANTING NOTES AND MATERIALS

SCOPE OF WORK

FURNISH ALL MATERIALS, LABOR, EQUIPMENT AND RELATED ITEMS NECESSARY TO ACCOMPLISH THE TREATMENT AND PREPARATION OF SOIL, FINISH GRADING, PLACEMENT OF SPECIFIED PLANT MATERIALS, FERTILIZER, STAKING, MULCH, CLEAN-UP, DEBRIS REMOVAL, AND 30-DAY MAINTENANCE.

QUALIFICATIONS:
LANDSCAPE CONTRACTOR TO BE SKILLED AND KNOWLEDGEABLE IN THE FIELD OF WORK. CONTRACTOR TO BE LICENSED TO PERFORM THE WORK SPECIFIED WITHIN THE PRESIDING JURISDICTION.

JOB CONDITIONS:
IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE SITE AND REPORT ANY DISCREPANCIES TO THE OWNER OR THE OWNER'S REPRESENTATIVES. ALL PLANT MATERIAL AND FINISH GRADES ARE SUBJECT TO APPROVAL BY THE OWNER.

PROTECTION:
DO NOT PLANT UNTIL OTHER CONSTRUCTION OPERATIONS WHICH CONFLICT HAVE BEEN COMPLETED. AN IRRIGATION SYSTEM IS TO BE INSTALLED. DO NOT PLANT UNTIL THE SYSTEM HAS BEEN TESTED AND APPROVED. HANDLE PLANTS WITH CARE - DO NOT DAMAGE OR BREAK ROOT SYSTEM, BARK, OR BRANCHES. REPAIR AND/OR REPLACE ITEMS DAMAGED AS A RESULT OF WORK, OR WORK NOT IN COMPLIANCE WITH PLANS AND SPECIFICATIONS, AS DIRECTED BY OWNER AT NO ADDITIONAL COST.

GUARANTEE:
GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE OF THE JOB BY OWNER.

30-DAY MAINTENANCE:
CONTRACTOR TO PROVIDE OWNER WITH A SCOPE OF WORK AT TIME OF INITIAL PROJECT BID TO PROVIDE LANDSCAPE AND IRRIGATION MAINTENANCE FOR 30 DAYS FOLLOWING COMPLETION OF PROJECT (ACCEPTANCE) OF FACILITY BY OWNER. WORK TO INCLUDE MAINTENANCE AS DESCRIBED BELOW, IN PLANTING AND IRRIGATION MAINTENANCE.

MATERIALS:

PLANT MATERIALS:
PLANT MATERIALS TO BE GRADE NO. 1, SIZED IN ACCORDANCE WITH (AAN) AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1-1996). PRUNE PLANTS RECEIVED FROM THE NURSERY ONLY UPON AUTHORIZATION BY THE LANDSCAPE ARCHITECT.

- SPECIFIED PLANT CANOPY SIZE OR CALIPER IS THE MINIMUM ACCEPTABLE CONTAINER OR BALL SIZE ESTABLISHES MINIMUM PLANT CONDITION TO BE PROVIDED.
- QUALITY:
PLANT MATERIAL TO COMPLY WITH STATE AND FEDERAL LAWS FOR DISEASE INSPECTION. PLANTS TO BE FULLY LIVE, VIGOROUS, WELL FORMED, WITH WELL DEVELOPED FIBROUS ROOT SYSTEMS. ROOT BALLS OF PLANTS TO BE SOLID AND FIRMLY HELD TOGETHER, SECURELY CONTAINED AND PROTECTED FROM INJURY AND DESICCATION.
PLANTS DETERMINED BY LANDSCAPE ARCHITECT TO HAVE BEEN DAMAGED; HAVE DEFORMITIES OF STEM, BRANCHES, OR ROOTS; LACK SYMMETRY, HAVE MULTIPLE LEADERS OR "Y" CROTCHES LESS THAN 30 DEGREES IN TREES, OR DO NOT MEET SIZE OR ANSI STANDARDS WILL BE REJECTED.
PLANT MATERIAL TO BE FROM A SINGLE NURSERY SOURCE FOR EACH SPECIFIED SPECIES/HYBRID. NURSERY SOURCES TO BE THOSE LOCATED IN THE SAME REGION AS THE JOB SITE.
- SUBSTITUTION:
NO SUBSTITUTION OF PLANT MATERIAL, SPECIES OR VARIETY, WILL BE PERMITTED UNLESS WRITTEN EVIDENCE IS SUBMITTED TO THE OWNER FROM TWO QUALIFIED PLANT BROKERAGE OFFICES. SUBSTITUTIONS WHICH ARE PERMITTED TO BE IN WRITING FROM THE OWNER AND LANDSCAPE ARCHITECT, THE SPECIFIED SIZE, SPECIES AND NEAREST VARIETY, AS APPROVED, TO BE FURNISHED.

SOIL PREPARATION:
ARE SPECIFIC TO THIS SITE. THE FOLLOWING: TOPSOIL, AMENDMENT, AND BACKFILL ARE REQUIREMENTS FOR ALL LANDSCAPE AREAS.

- COMPOST AMENDMENT OF EXISTING SOILS.
COMPOST WILL BE AMENDED AT A MINIMUM OF 4 CUBIC YARDS PER 1,000 SQUARE FEET. CULTIVATE TO A DEPTH OF 6 INCHES.

- SOIL PREPARATION
REMOVE FROM SITE ALL WEEDS AND DEBRIS WITHIN THE PROPOSED LANDSCAPE AREAS. VERIFY SUB-GRADES AT -5 INCHES BELOW FINISH ELEVATION IN ALL SHRUB AND GROUNDCOVER AREAS. DO NOT WORK SOIL WHEN MOISTURE CONTENT IS SO GREAT THAT EXCESS COMPACTION WILL OCCUR NOR WHEN IT IS SO DRY THAT DUST WILL FORM IN THE AIR OR THAT CLODS WILL NOT BREAK READILY. APPLY WATER IF NECESSARY TO PROVIDE IDEAL MOISTURE CONTENT FOR FILLING AND FOR PLANTING AS SPECIFIED. THOROUGHLY SCARIFY AND RIP ALL LANDSCAPE GRADES WHICH HAVE BECOME COMPACTED TO A DEPTH OF 12 INCHES WITH MULTIPLE PASSES, 90 DEGREES TO EACH OTHER. SCARIFY AREAS INACCESSIBLE TO MECHANIZED EQUIPMENT WITH HAND TOOLS.

REMOVE ALL SURFACE LUMPS, ROCKS, VEGETATION AND/OR DEBRIS LARGER THAN 1-INCH FROM ALL GRADES PRIOR TO ANY SOIL PREPARATION. PLACE ADDITIONAL AMENDED SOIL AS REQUIRED TO MEET FINISH ELEVATIONS. APPLY SOIL PREPARATION MATERIALS TO ALL PLANTING AREAS AND THOROUGHLY INCORPORATE INTO THE TOP 6 INCHES OF SOIL.

WET SOIL THOROUGHLY AND ALLOW TO SETTLE. REPEAT THIS COMPACTION PROCEDURE UNTIL SOIL IS STABLE ENOUGH TO PERMIT AERATION AND DRAINAGE FOR PLANT MATERIAL. FINISH GRADE ALL PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE DRAINING AWAY FROM BUILDINGS AND READY FOR PLANTING. FINISH GRADE TO BE 3 INCHES BELOW FINISH SURFACE OF ADJACENT PAVEMENT IN SHRUB AND GROUNDCOVER AREAS. FINISH GRADES TO BE APPROVED PRIOR TO PLACEMENT OF ANY PLANT MATERIAL. PARKING PLANTER ISLANDS SHALL BE OVER EXCAVATED. REMOVE ALL PAVING WASTE, GRAVEL BASE AND UNDERLYING SUBSOIL TO 18 INCHES BELOW TOP OF THE PAVING. SCARIFY AND OVER EXCAVATE PIT BOTTOM 12 INCHES TO MINIMIZE STRUCTURAL COMPACTION.

MULCH:
ORGANIC COMPOST IS PREFERRED MULCH TO BE USED AS TOP-DRESSING FOR ALL NEW LANDSCAPE BEDS. SHREDDED WOOD WILL NOT BE ALLOWED.

STAKES:
2-INCH DIAMETER, BY 8-FOOT MINIMUM TREATED LODGEPOLE PINE TREE STAKE.

EXECUTION:

FINISH GRADES:
FINE GRADE AND REMOVE ROCKS AND FOREIGN OBJECTS OVER TWO INCHES (2") DIAMETER FROM TOP THREE INCHES (3") OF PREPARED PLANTING BED. ALL FINISH GRADES TO BE SMOOTH EVEN GRADES, LIGHTLY COMPACTED, AS SHOWN ON THE PLAN AND DETAILED. SITE CIVIL DRAWINGS IDENTIFY FINAL ELEVATIONS.

TREES:
ARRANGE TREES ON SITE IN PROPOSED LOCATIONS PER DRAWINGS. EXCAVATE PIT, PLANT AND STAKE OR GUY, AS CALLED OUT AND DETAILED. ALL TREES AND SUPPORTS TO STAND VERTICAL. TREES TO BE PLACED AS SHOWN ON THE PLANTING PLAN, LOCATED AS DETAILED AND AS CALLED OUT ON PLANT LIST. BACKFILL SHALL BE PIT SPOILS. SETTLE BACKFILL USING WATER ONLY. NO MECHANICAL COMPACTION.

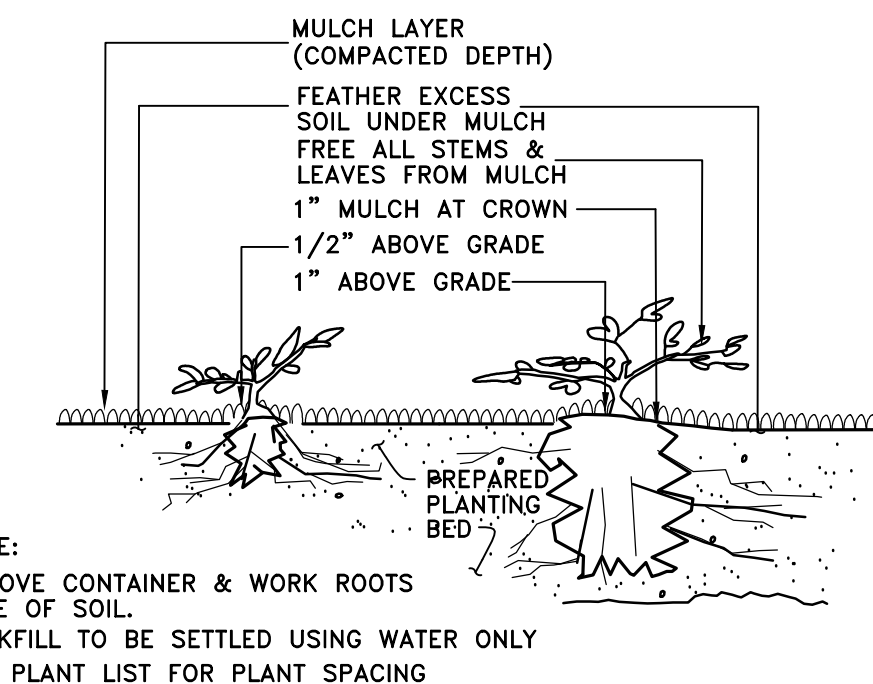
SHRUBS:
INSTALL SHRUBS AS SPECIFIED FOR TREES.

GROUNDCOVERS:
EXCAVATE PITS TO A MINIMUM OF THREE INCHES (3") BELOW, AND TWICE THE ROOT BALL DIAMETER. WATER THOROUGHLY AND TAKE CARE TO ENSURE THAT ROOT CROWN IS AT PROPER GRADE, AS DETAILED.

MULCH:
MULCH ALL LANDSCAPE AREAS WITH A THREE INCH (3") LAYER OF MULCH.

UTILITY CLEARANCES:
FIELD ADJUST PLANT LOCATIONS FOR 8-FOOT SEPARATION OF TREES/SHRUBS AND 2-FOOT SEPARATION FOR GROUNDCOVER FROM FIRE HYDRANTS AND UTILITY VAULTS.

PLANTING MAINTENANCE:
CONTRACTOR TO MAINTAIN PLANTINGS THROUGH COMPLETED INSTALLATION, AND UNTIL ACCEPTANCE OF LANDSCAPE INSTALLATION. PLANTING MAINTENANCE TO INCLUDE WATERING, WEEDING, CULTIVATING, TIGHTENING AND REPAIRING OF TREE GUYS, RESETTling PLANTS TO PROPER GRADES OR POSITION, AND RE-ESTABLISHING SETTING GRADES. HERBICIDE IS NOT RECOMMENDED FOR ONE YEAR FOLLOWING LANDSCAPE INSTALLATION. INCLUDED IS REPLACEMENT OF DEAD PLANTS AND PLANTS SHOWING LOSS OF 40 PERCENT OR MORE OF CANOPY.



NOTE:
REMOVE CONTAINER & WORK ROOTS FREE OF SOIL.
BACKFILL TO BE SETTLED USING WATER ONLY
SEE PLANT LIST FOR PLANT SPACING

GROUNDCOVER PLANTING DETAIL

NOT TO SCALE

PRUNE DAMAGED TWIGS AFTER PLANTING
PLACE IN VERT. POSITION: DOUBLE LEADERS WILL BE REJECTED

NOTE:
KEEP ROOTBALL MOIST AND PROTECTED AT ALL TIMES. HOLD CROWN OF ROOTBALL AT OR JUST ABOVE FINISH GRADE.
PROTECT TRUNK AND LIMBS FROM INJURY.
BACKFILL TO BE SETTLED USING WATER ONLY - NO MECHANICAL COMPACTION.
REMOVE ALL WRAP, TIES & CONTAINERS, REGARDLESS OF MATERIAL.

(2) LODGEPOLE STAKES, PLUMB WITH ELASTIC CHAIN-LOCK TYPE OR RUBBER GUYS TIED IN FIGURE EIGHT; REMOVE AFTER ONE GROWING SEASON

PROTECTIVE WRAPPING DURING SHIPMENT TO SITE AND INSTALLATION REMOVE AT COMPLETION OF PLANTING
MULCH LAYER. HOLD BACK FROM TRUNK.

FINISH GRADE
PREPARE PLANTING BED PER SPEC'S; AT MIN., LOSSEN AND MIX SOIL TO 18" OR DEPTH OF ROOTBALL AND 2 TIMES BALL DIAMETER

REMOVE ALL WRAP, TIES, AND CONTAINERS
SCORE ROOTBALL AND WORK NURSERY SOIL AWAY FROM PERIMETER ROOTS

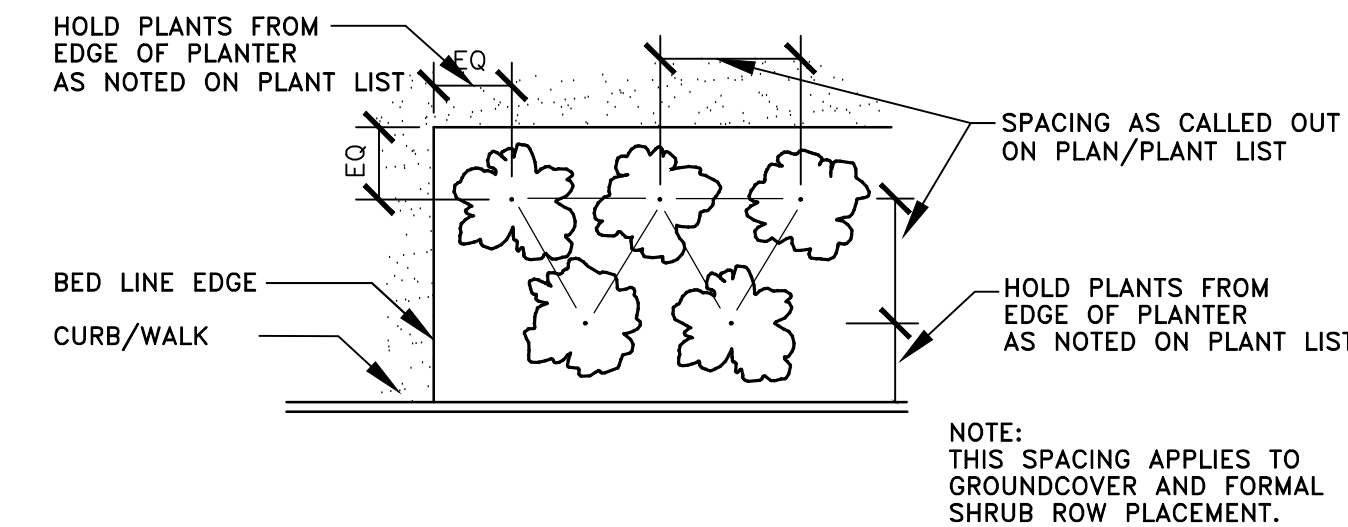
SET BALL ON UNDISTURBED BASE OR COMPACTED MOUND UNDER BALL
PENETRATION TO SUBBASE (+) 24"

DECIDUOUS TREE PLANTING/STAKING DETAIL

NOT TO SCALE

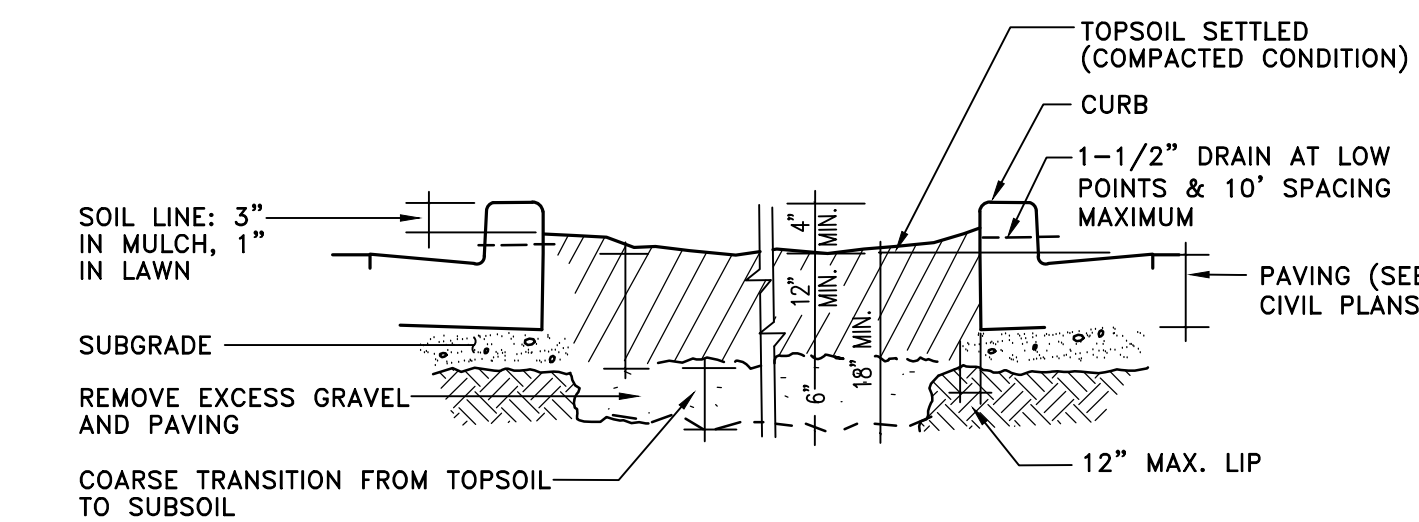
PLANT SCHEDULE

SYMBOL	BOTANICAL/COMMON NAMES	SIZE CONDITION	SPACING	QUANTITY	WUCOLS IV IRRIGATION REGION: 3	REMARKS
	<u>TREES:</u> LAGERSTROEMIA INDICA / CRAPE MYRTLE	15 GAL	AS SHOWN	6	LOW	STAKE & GUY ONE GROWING SEASON; NURSERY GROWN, BRANCHED AT 5'
	LAURUS NOBILIS / SWEET BAY	15 GAL	AS SHOWN	1	LOW	STAKE & GUY ONE GROWING SEASON; NURSERY GROWN, BRANCHED AT 5'
	PARKINSONIA FLORIDA / BLUE PALO VERDE	15 GAL	AS SHOWN	4	VERY LOW	STAKE & GUY ONE GROWING SEASON; NURSERY GROWN, BRANCHED AT 5'
	<u>SHRUBS:</u> SALVIA SONOMENSIS / CREEPING SAGE	1 GALLON	AS SHOWN	12	LOW	FULL & BUSHY
	CALLIANDRA 'SIERRA STARR' / FAIRY DUSTER	1 GALLON	AS SHOWN	6	LOW	FULL & BUSHY
	CEANOTHUS SP. 'DARK STAR' / CEANOTHUS	1 GALLON	AS SHOWN	3	LOW	FULL & BUSHY
	HESPERALOE PARVIFLORA / RED YUCCA	1 GALLON	AS SHOWN	19	LOW	FULL & BUSHY
	NANDINA DOMESTICA 'LEMON LIME' / NANDINA	1 GALLON	AS SHOWN	18	LOW	FULL & BUSHY
	RHAPHIOLEPIS INDICA 'SNOW WHITE' / SNOW WHITE YEDDO HAWTHORN	1 GALLON	AS SHOWN	23	LOW	FULL & BUSHY; MATCH EXISTING HEDGE SPECIES - NOTIFY LANDSCAPE ARCHITECT IF EXISTING SPECIES DIFFERS FROM SPECIFIED.
	<u>GROUNDCOVERS:</u> DYMNDIA MARGARETAE / DYMNDIA	1 GALLON	24" O.C.	AS REQ'D (+/-288 PLANTS)	LOW	HOLD BACK 16" FROM BORDERS, TREES, AND SHRUBS
	APTENIA 'RED APPLE' / BABY SUN ROSE	1 GALLON	24" O.C.	AS REQ'D (+/-58 PLANTS)	LOW	HOLD BACK 16" FROM BORDERS, TREES, AND SHRUBS
	<u>PLANTS FOR MODULAR WETLAND:</u> DIETES IRIDIODES / FORNIGHT LILY	1 GALLON	AS SHOWN	14	LOW	FULL & BUSHY; LOCATE IN MODULAR WETLAND UNIT



PLANT MATERIAL SPACING DETAIL

NOT TO SCALE



NOTE:
OVER EXCAVATE PARKING LOT PLANTERS TO LOOSEN COMPACTED SUBBASE

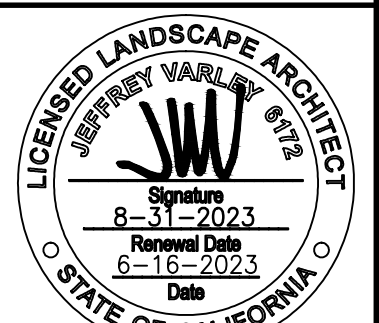
GRADING • PARKING LOT PLANTERS DETAIL

NOT TO SCALE

Revision	No.	Date	By	Appr.
LANDSCAPE RESUBMITTAL				
LAND USE SUBMITTAL				

Title:
PRELIMINARY LANDSCAPE NOTES + DETAILS
103 N BEACH BOULEVARD
LA HABRA, CA 90631
COSTCO FUEL FACILITY #777

For:
COSTCO GASOLINE
COSTCO WHOLESALE
999 LAKE DRIVE
ISSAQUAH, WA 98027



NOT FOR CONSTRUCTION

Scale:	Horizontal	N/A	Vertical	N/A
Designed BY/LP	JW/WP	Checked	JW	Approved
Drawn	JW	Checked	JW	Approved
Date	5/11/23			

18215 72ND AVENUE SOUTH
KENT, WA 98032
(425)251-6222
(425)251-8752 FAX
CIVIL ENGINEERING, LAND PLANNING,
SURVEYING, ENVIRONMENTAL SERVICES



Job Number
10426
Sheet
L2 of 2